



Vision

***THE CITY OF BETTENDORF IS THE MOST LIVABLE
COMMUNITY WITH RICH EDUCATIONAL, CULTURAL AND
RECREATIONAL OPPORTUNITIES WHERE WE ENJOY A
VIBRANT RIVERFRONT AND A GROWING, COMPETITIVE
BUSINESS ENVIRONMENT.***

WE TAKE PRIDE IN OUR GREAT COMMUNITY

The Vision Statement for the City of Bettendorf outlines what Bettendorf wants in the future. Our preferred future is defined in value-based principles that can guide policies, decisions and operations. The City of Bettendorf is a Premier City in which to live.

**BETTENDORF CITY COUNCIL
COMMITTEE OF THE WHOLE
COUNCIL CHAMBERS – CITY HALL**

MONDAY, MARCH 1, 2021

5:00 P.M.

The Bettendorf City Council Committee of the Whole meeting will be open to the public. Additional and necessary measures will be taken to adhere to social distancing recommendations. Any members of the public who choose to attend the meeting are encouraged to wear a face mask. In an effort to practice social distancing and in support of CDC guidelines, the City of Bettendorf will broadcast this public meeting online at <http://www.bettendorf.org/live-meeting>

Constituents are encouraged to view the meeting online.

AGENDA

I. CONSENT AGENDA ITEMS

- Resolution approving the preliminary plat of The Meadows, submitted by Windmill Development, LLC (Case 21-009) – Community Development Director Mark Hunt **(See Consent D)**
- Resolution approving a site development plan for proposed Tanglewood Place, submitted by Windmill Development, LLC (Case 21-013) – Community Development Director Mark Hunt **(See Consent G)**

II. REMAINING CONSENT AGENDA ITEMS

III. OPERATIONAL ITEMS

IV. PRESENTATION

- Proposed Subdivision Ordinance Revisions – Public Works Director Brian Schmidt and City Engineer Brent Morlok

V. ITEMS ADDED BY MAYOR AND COUNCIL

IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT AND OTHER APPLICABLE FEDERAL AND STATE LAWS, ALL PUBLIC HEARINGS AND MEETINGS HELD OR SPONSORED BY THE CITY OF BETTENDORF, IOWA, WILL BE ACCESSIBLE TO INDIVIDUALS WITH DISABILITIES. PERSONS REQUIRING AUXILIARY AIDS AND SERVICES SHOULD CONTACT BETTENDORF CITY HALL AT (563) 344-4000 FIVE (5) DAYS PRIOR TO THE HEARING OR MEETING TO INFORM OF THEIR ANTICIPATED ATTENDANCE. THE REQUIREMENT THAT AN ORDINANCE BE READ THREE TIMES BEFORE PASSAGE MAY BE WAIVED BY COUNCIL UPON AN AFFIRMATIVE VOTE OF SIX OF THE SEVEN COUNCIL MEMBERS. THE PUBLIC IS ADVISED TO TAKE NOTE OF THIS PROCESS AND BE PREPARED TO SPEAK EITHER FOR OR AGAINST ANY ORDINANCE AT THE TIME OF FIRST READING.

**CITY OF BETTENDORF CITY COUNCIL MEETING
COUNCIL CHAMBERS – CITY HALL**

**TUESDAY, MARCH 2, 2021
7:00 P.M.**

The Bettendorf City Council meeting will be open to the public. Additional and necessary measures will be taken to adhere to social distancing recommendations. Any members of the public who wish to be heard at the Public Requests of Council, or for any Public Hearing scheduled to appear, should attend the Council Meeting in person, or contact 563-344-4013 for specific questions or alternative participation. Any members of the public who choose to attend the meeting are encouraged to wear a face mask. In an effort to practice social distancing and in support of CDC guidelines, the City of Bettendorf will broadcast this public meeting online at <http://www.bettendorf.org/live-meeting>

Constituents who do not have a matter to address with City Council in person are encouraged to view the meeting online.

AGENDA

- 1. ROLL CALL**
- 2. PLEDGE OF ALLEGIANCE**
- 3. INVOCATION** – Given by Bettendorf Police Chaplain and Pastor of Asbury United Methodist Church, Pastor Tom Carver
- 4. PROCLAMATION** – Women in Construction Week, March 7 – 13, 2021 requested by Stephanie Hintermeister, WIC Week Chair, National Association of Women in Construction (NAWIC)
- 5. PUBLIC REQUESTS OF COUNCIL**
- 6. PUBLIC HEARING**
Regarding the FY2021/22 proposed Maximum Property Tax Levy
- 7. RESOLUTION**
Council Member Baden to present a resolution approving the FY21/22 proposed Maximum Property Tax Levy
- 8. PUBLIC HEARING**
Regarding the Pleasant Drive Reconstruction Project from Greenfield Road to Devils Glen Road

9. RESOLUTION

Council Member Connors to present a resolution approving the plans, specifications and form of contract for the Pleasant Drive Reconstruction Project from Greenfield Road to Devils Glen Road

10. PUBLIC HEARING

Regarding the Asbury Street Reconstruction Project from Tanglefoot Lane to New Lexington Drive

11. RESOLUTION

Council Member Brown to present a resolution approving the plans, specifications and form of contract for the Asbury Street Reconstruction Project from Tanglefoot Lane to New Lexington Drive

12. PUBLIC HEARING

Regarding the Greenbrier Drive Reconstruction Project from Davenshire Drive to Tanglefoot Lane

13. RESOLUTION

Council Member Naumann to present a resolution approving the plans, specifications and form of contract for the Greenbrier Drive Reconstruction Project from Davenshire Drive to Tanglefoot Lane

14. ORDINANCE

Council Member Webster to present the second reading of an ordinance rezoning of property generally located northwest of the intersection of Tanglefoot Lane and Tanglewood Road, A-1, Agricultural/Urban Reserve District to R-2, Single-Family Residence District (Case 21-001)

15. ORDINANCE

Council Member Sechser to present the second reading of an ordinance rezoning of property generally located northwest of the intersection of Tanglefoot Lane and Tanglewood Road A-1, Agricultural/Urban Reserve District to R-3, Mixed Residential District (Case 21-002)

16. ORDINANCE

Council Member Baden to present the second reading of an ordinance amending Title 2, Chapter 8 of the City Code of the City of Bettendorf, Iowa by dissolving the elected Park and Recreation Board and replacing it with an appointed Advisory Board

17. ORDINANCE

Council Member Webster to present the second reading of an ordinance amending Title 2, Chapter 9; Title 7, Chapter 6; and Title 3, Chapter 12C of the City Code of the City of Bettendorf, Iowa relating to Parks and Recreation

18. ORDINANCE

Council Member Sechser to present the second reading of ordinance adjusting the rates for Sanitary Sewer Utility, Storm Water Utility and Solid Waste Enterprise activities of the City

19. CONSENT AGENDA

20. ADJOURN

**CONSENT AGENDA
MARCH 2, 2021**

**ALL ITEMS APPEARING BELOW ARE CONSIDERED ROUTINE BY THE CITY COUNCIL
AND SHALL BE ENACTED BY ONE MOTION. IF DISCUSSION IS DESIRED, THAT ITEM
SHALL BE REMOVED AND DISCUSSED SEPARATELY**

- A. Minutes from February 16, 2021 (Approve and Adopt)
- B. Resolution to Receive and File an email and two petitions from several residents in support of an elected Park Board. (Approve and Adopt)
- C. Resolution setting the public hearing date for the adoption of the FY21/22 budget and certification of taxes. (Approve and Adopt)
- D. Resolution approving the preliminary plat of The Meadows, submitted by Windmill Development, LLC (Case 21-009). (Approve and Adopt)
- E. Resolution approving the final plat of Southfield Park 2nd Addition (replat of Lots 5 and 6, Southfield Park Addition), submitted by Brad Bagby (Case 21-006). (Approve and Adopt)
- F. Resolution approving the final plat of Tanglewood Place, submitted by Windmill Development, LLC (Case 21-012). (Approve and Adopt)
- G. Resolution approving a site development plan for Tanglewood Place, submitted by Windmill Development, LLC (Case 21-013). (Approve and Adopt)
- H. Resolution setting the date for a public hearing and directing the advertising of bids for the 2021 Street Resurfacing Program. (Approve and Adopt)
- I. Resolution setting the date for a public hearing and directing the advertising of bids for the Middle Road Resurfacing Project from Belmont Road to Woodfield Drive. (Approve and Adopt)
- J. Resolution setting the date for a public hearing on the FY2022 Application for State Transit Assistance Funds for the Transit System Operations. (Approve and Adopt)
- K. Resolution authorizing the Director of Public Works to issue a purchase order to Davenport Electric Contract Company for the 23rd Street and Grant Street Traffic Signal Reconstruction. (Approve and Adopt)
- L. Resolution approving a lease renewal agreement between the City of Bettendorf and Helm Group (Civil Constructors) for the property located at 125 13th Street (Public Works South). (Approve and Adopt)
- M. Resolution approving the purchase of one (1) 2021 Ford F150 from Kunes Ford located in East Moline, IL for \$31,894.28. (Approve and Adopt)
- N. Resolution setting the date for a public hearing for request for designation as forest covers for a portion of property located at 8822 Wells Ferry Road to qualify for tax exemption. (Approve and Adopt)

- O. Resolution setting the date for a public hearing for request for designation as open prairies for a portion of property located at 8972 Wells Ferry Road to qualify for tax exemption. (Approve and Adopt)
- P. Resolution setting the date for a public hearing for request for designation as forest covers for a portion of property located at 3000 Barcelona Terrace to qualify for tax exemption. (Approve and Adopt)
- Q. Resolution setting the date for a public hearing for request for designation as forest covers/rivers and streams/river and stream banks for a portion of property located at 4340 Tanglewood Road to qualify for tax exemption. (Approve and Adopt)
- R. Resolution approving liquor license renewals for Hidden Hills Golf Club and Crawford Brew Works. (Approve and Adopt)
- S. Bills (Approve payment and direct City Clerk to issue checks in respective amounts)



Office of the Mayor
Proclamation

WHEREAS, *the National Association of Women in Construction (NAWIC) Quad Cities Chapter No. 50 has distinguished itself for 58 years as the voice of women in construction in the Quad City area; and*

WHEREAS, *the work done by NAWIC Quad Cities Chapter No. 50 has benefited Bettendorf, Iowa through community development and educational programs; and*

WHEREAS, *NAWIC Quad Cities Chapter No. 50 has unceasingly promoted the employment and advance of women in the construction industry; and*

WHEREAS, *the construction community, represented by NAWIC Quad Cities Chapter No. 50 has been a driving force in fostering community development through renovation and beautification projects; promotion of skilled trades careers; and a positive vision of the future; and*

WHEREAS, *NAWIC Quad Cities Chapter No. 50 has sought to achieve successful results for Bettendorf, Iowa and surrounding areas in a cooperative spirit with other organizations.*

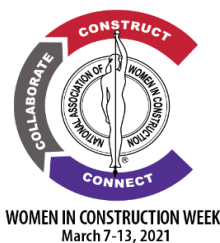
NOW THEREFORE, I, Robert S. Gallagher, Mayor of the City of Bettendorf, do hereby proclaim the week of March 7 - 13, 2021 as:

“Women in Construction Week”

and hereby recognize NAWIC Quad Cities Chapter No. 50 and its many dedicated volunteers for its steadfast work on behalf and support of women in construction, and do proudly and encourage our citizens to congratulate the organization on its many accomplishments.

DATED this 2nd day of March, 2021

Mayor Robert S. Gallagher





MEETING DATE: March 2, 2021
REQUESTED BY: Schadt

COUNCIL LETTER

VISION:

THE CITY OF BETTENDORF IS A PREMIER PLACE IN WHICH TO LIVE. THE CITY OF BETTENDORF IS THE MOST LIVABLE COMMUNITY FOR FAMILIES WITH RICH EDUCATIONAL, CULTURAL, AND RECREATIONAL OPPORTUNITIES WHERE WE ENJOY A VIBRANT RIVERFRONT AND A GROWING COMPETITIVE BUSINESS ENVIRONMENT. WE TAKE PRIDE IN OUR GREAT COMMUNITY.

ITEM TITLE: (Please use same title as it will appear on your resolution.)

Public hearing and resolution to approve the FY 2021/22 proposed maximum property tax levy.

Explanation (Background & How it Responds to Vision, Mission or Goals)

Pursuant to changes in Iowa law, a public hearing will be held to set the FY 21/22 maximum property tax levy. Because property taxes levied in FY 21/22 will increase by more than 2% over the current year, a resolution approving the tax levy must be passed by 2/3 of the full council. Tax dollars in FY 21/22 will increase 4.94%.

After this public hearing and adoption of the maximum property tax levy resolution, a public information meeting was held at Bettendorf City Hall, on February 25, 2021 at 6 pm. Finally, on March 16, 2021, a second public hearing will be held regarding the final approval and adoption of the FY 2021/22 Budget. Consistent with most years, roughly half of the increase in tax dollars in FY 21/22 will be generated by new construction and development throughout the City. The remaining half is attributable to the increase in the residential rollback. The City's levy rate remains unchanged for FY 21/22. As a result of continued growth, increased tax revenue will fund the hiring of three new police officers. Other significant increases include, police & fire pension contribution +3.4%, employee health insurance costs +5%, liability and casualty insurance costs +15%.

List Attachments:

- Resolution
- Public Hearing Notice

RESOLUTION NO. _____ - 21

**Resolution Approving the Maximum Property Tax Levy for
Fiscal Year 2021/22 Budget**

WHEREAS, the City Council of the City of Bettendorf have considered the proposed FY 2021/22 city maximum property tax dollars for the affected levy total, and

WHEREAS, a notice concerning the proposed city maximum property tax dollars was published as required and posted on city web site and/or social media accounts if applicable,

WHEREAS, a public hearing concerning the proposed city maximum property tax dollars was held on March 2, 2021,

NOW THEREFORE BE IT RESOLVED by the City Council of the City of Bettendorf that the maximum property tax dollars for the affected tax levies for FY 2021/22 shall not exceed \$19,799,411.

The Maximum Property Tax dollars requested in the total maximum levy for affected property tax levies for FY 2021/22 represents an increase of greater than 102% from the Maximum Property Tax dollars requested for FY 2020/21.

Roll Call Vote: Ayes: _____

 Nays: _____

PASSED, APPROVED, AND ADOPTED this 2nd day of March, 2021.

Mayor, Robert S. Gallagher

Attest:

City Clerk, Decker P. Ploehn

**NOTICE OF PUBLIC HEARING - CITY OF BETTENDORF - PROPOSED PROPERTY TAX LEVY
Fiscal Year July 1, 2021 - June 30, 2022**

The City Council will conduct a public hearing on the proposed Fiscal Year City property tax levy as follows:

Meeting Date: 3/2/2021 **Meeting Time:** 07:00 PM **Meeting Location:** 1609 State St. Bettendorf, Iowa

At the public hearing any resident or taxpayer may present objections to, or arguments in favor of the proposed tax levy. After adoption of the proposed tax levy, the City Council will publish notice and hold a hearing on the proposed city budget.

City Website (if available)
www.bettendorf.org

City Telephone Number
(563) 344-4116

	Current Year Certified Property Tax 2020 - 2021	Budget Year Effective Property Tax 2021 - 2022	Budget Year Proposed Maximum Property Tax 2021 - 2022	Annual % CHG
Regular Taxable Valuation	2,418,877,662	2,538,387,552	2,538,387,552	
Tax Levies:				
Regular General	13,880,052	13,880,052	14,397,278	
Contract for Use of Bridge	0	0	0	
Opr & Maint Publicly Owned Transit	563,161	563,161	415,388	
Rent, Ins. Maint. Of Non-Owned Civ. Ctr.	0	0	0	
Opr & Maint of City-Owned Civic Center	0	0	0	
Planning a Sanitary Disposal Project	0	0	0	
Liability, Property & Self-Insurance Costs	679,423	679,423	642,841	
Support of Local Emer. Mgmt. Commission	0	0	0	
Emergency	0	0	0	
Police & Fire Retirement	1,519,561	1,519,561	1,663,197	
FICA & IPERS	0	0	0	
Other Employee Benefits	2,225,062	2,225,062	2,680,707	
Total Tax Levy	18,867,259	18,867,259	19,799,411	4.94
Tax Rate	7.80001	7.43277	7.80000	

Explanation of significant increases in the budget:

Consistent with most years, roughly half of the increase in tax dollars in FY 21/22 will be generated by new construction and development throughout the City. The remaining half is attributable to the increase in the residential rollback. The City's levy rate remains unchanged for FY 21/22. As a result of continued growth, increased tax revenue will fund the hiring of three new police officers. Other significant increases include, police & fire pension contribution +3.4%, employee health insurance costs +5%, liability and casualty insurance costs +15%.

If applicable, the above notice also available online at:
www.bettendorf.org

*Total city tax rate will also include voted general fund levy, debt service levy, and capital improvement reserve levy.
**Budget year effective property tax rate is the rate that would be assessed for these levies if the dollars requested is not changed in the coming budget year



MEETING DATE: March 2, 2021

REQUESTED BY: Jerry Bishop
Civil Engineer

WARD: 3

Item Title:

Public hearing for the Pleasant Drive Reconstruction Project from Greenfield Road to Devils Glen Road.

Resolution approving the plans, specifications and form of contract for the Pleasant Drive Reconstruction Project from Greenfield Road to Devils Glen Road.

Explanation:

The proposed improvements consist of reconstructing approximately 489 lineal feet of thirty-one foot (31') wide existing concrete pavement with new six inch (6") Portland Cement Concrete (PCC) pavement on a drainable subbase with subdrains on Pleasant Drive from the west side of Greenfield Road to Devils Glen Road. Also included with this project is the removal and replacement of driveway approaches, partial construction of sidewalks, manhole adjustments, sodding, erosion control, and other work related to reconstructing this street.

Relationship to Goals: Upgraded City Infrastructure & Public Facilities.

If the matter is not budgeted in the current year, explain why funding is requested and the anticipation:

This project (PW0544) was approved with a total budget of \$245,000.00 within the Community Improvement Program.

List Attachments:

Resolution
Plans and Specifications (on file in the office of the City Engineer)

RESOLUTION APPROVING THE PLANS, SPECIFICATIONS AND FORM OF CONTRACT
FOR THE PLEASANT DRIVE RECONSTRUCTION PROJECT FROM
GREENFIELD ROAD TO DEVILS GLEN ROAD

WHEREAS, plans, specifications, notice to bidders and form of contract are on file in the office of the City Engineer for construction of certain improvements to the street system of said city; namely the

Pleasant Drive Reconstruction Project from Greenfield Road to Devils Glen Road

WHEREAS, notice of hearing on the specifications, and form of contract was published as required by law, and

WHEREAS, a public hearing on the plans, specifications, and form of contract was held in the City Hall Council Chambers, 1609 State Street, Bettendorf, Iowa, at 7:00 o'clock p.m. on the 2nd day of March, 2021,

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA, that the plans, specifications, and form of contract be approved and adopted as the plans, specifications, and form of contract for said improvements.

Passed, Approved and Adopted this 2nd day of March, 2021.

Robert S. Gallagher, Mayor

Attest:

Decker P. Ploehn, City Clerk



MEETING DATE: March 2, 2021

REQUESTED BY: Jerry Bishop
Civil Engineer

WARD: 4

Item Title:

Public hearing for the Asbury Street Reconstruction Project from Tanglefoot Lane to New Lexington Drive.

Resolution approving the plans, specifications and form of contract for the Asbury Street Reconstruction Project from Tanglefoot Lane to New Lexington Drive.

Explanation:

The proposed improvements consist of reconstructing approximately 669 lineal feet of thirty-one foot (31') wide existing concrete pavement with new six inch (6") Portland Cement Concrete (PCC) pavement on a drainable subbase with subdrains on Asbury Street from Tanglefoot Lane to New Lexington Drive. Also included with this project is the removal and replacement of driveway approaches, partial construction of sidewalks, manhole adjustments, sodding, erosion control, and other work related to reconstructing this street.

Relationship to Goals: Upgraded City Infrastructure & Public Facilities.

If the matter is not budgeted in the current year, explain why funding is requested and the anticipation:

This project (PW0543) was approved with a total budget of \$290,000.00 within the Community Improvement Program.

List Attachments:

- Resolution
- Plans and Specifications (on file in the office of the City Engineer)

RESOLUTION APPROVING THE PLANS, SPECIFICATIONS AND FORM OF CONTRACT
FOR THE ASBURY STREET RECONSTRUCTION FROM TANGLEFOOT LANE TO
NEW LEXINGTON DRIVE

WHEREAS, plans, specifications, notice to bidders and form of contract are on file in the office of the City Engineer for construction of certain improvements to the street system of said city; namely the

Asbury Street Reconstruction Project from Tanglefoot Lane to New Lexington Drive

WHEREAS, notice of hearing on the specifications, and form of contract was published as required by law, and

WHEREAS, a public hearing on the plans, specifications, and form of contract was held in the City Hall Council Chambers, 1609 State Street, Bettendorf, Iowa, at 7:00 o'clock p.m. on the 2nd day of March, 2021,

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA, that the plans, specifications, and form of contract be approved and adopted as the plans, specifications, and form of contract for said improvements.

Passed, Approved and Adopted this 2nd day of March, 2021.

Robert S. Gallagher, Mayor

Attest:

Decker P. Ploehn, City Clerk



MEETING DATE: March 2, 2021
REQUESTED BY: Brian Fries, P.E.
Assistant City Engineer
WARD: 2

Item Title:

Public hearing for the Greenbrier Drive Reconstruction Project from Davenshire Drive to Tanglefoot Lane.

Resolution approving the plans, specifications and form of contract for the Greenbrier Drive Reconstruction Project from Davenshire Drive to Tanglefoot Lane.

Explanation:

The proposed improvements consist of reconstructing approximately 1,335 linear feet of thirty-six feet (36') wide existing concrete pavement with new seven inch (7") Hot-Mix Asphalt (HMA) pavement on a drainable subbase with subdrains on Greenbrier Drive from Davenshire Drive to Tanglefoot Lane. Also included with this project is new concrete curb and gutter, the removal and replacement of driveway approaches, partial reconstruction of driveways, manhole adjustments, pavement markings, sodding, erosion control, and other work related to reconstructing this street.

Relationship to Goals: Upgraded City Infrastructure & Public Facilities.

If the matter is not budgeted in the current year, explain why funding is requested and the anticipation:

This project (PW0538) was approved with a total budget of \$550,000.00 within the Community Improvement Program.

List Attachments:

- Resolution
- Plans and Specifications (on file in the office of the City Engineer)

RESOLUTION APPROVING THE PLANS, SPECIFICATIONS AND FORM OF CONTRACT
FOR THE GREENBRIER DRIVE RECONSTRUCTION PROJECT FROM DAVENSHIRE DRIVE TO
TANGLEFOOT LANE

WHEREAS, plans, specifications, notice to bidders and form of contract are on file in the office of the City Engineer for construction of certain improvements to the street system of said city; namely the

Greenbrier Drive Reconstruction Project from Davenshire Drive to Tanglefoot Lane

WHEREAS, notice of hearing on the specifications, and form of contract was published as required by law, and

WHEREAS, a public hearing on the plans, specifications, and form of contract was held in the City Hall Council Chambers, 1609 State Street, Bettendorf, Iowa, at 7:00 o'clock p.m. on the 2nd day of March, 2021,

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA, that the plans, specifications, and form of contract be approved and adopted as the plans, specifications, and form of contract for said improvements.

Passed, Approved and Adopted this 2nd day of March, 2021.

Robert S. Gallagher, Mayor

Attest:

Decker P. Ploehn, City Clerk



MEETING DATE: February 2, 2021 (SPH)
February 16, 2021 (HPH)
REQUESTED BY: Mark Hunt

COUNCIL LETTER

ITEM TITLE: Resolution setting a date for public hearing for rezoning of property generally located northwest of the intersection of Tanglefoot Lane and Tanglewood Road, A-1, Agricultural/Urban Reserve District to R-2, Single-Family Residence District, submitted by Dan Dolan Homes. (Case 21-001) (2/2/21)

Public hearing and first reading of an ordinance rezoning property generally located northwest of the intersection of Tanglefoot Lane and Tanglewood Road, A-1, Agricultural/Urban Reserve District to R-2, Single-Family Residence District, submitted by Dan Dolan Homes. (Case 21-001) (2/16/21)

Explanation (Background and How it Responds to Vision, Mission, or Goals)

Dan Dolan Homes has requested rezoning of property generally located northwest of the intersection of Tanglefoot Lane and Tanglewood Road (see Aerial Photo and Land Use Map - Attachments A and B). The petitioner would like to rezone the western portion of the site from A-1, Agricultural/Urban Reserve District to R-2, Single-Family Residence District. The remainder of the site is proposed to be rezoned from A-1 to R-3, Mixed Residential District (see Concept Plan - Attachment C). The structures will be at most one and one-half stories in height (see Elevations - Attachment D).

The Planning and Zoning Commission voted by a 5-0 margin to recommend approval of the rezoning at its January 20 meeting. Consult the staff report for further details.

Enhances the Vision: "The City of Bettendorf is the most livable community for families" is maintained by placing townhouses in areas of the City nearer single-family and two-family housing to act as a buffer from more intense uses closer to Middle Road.

If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:

N/A

List Attachments:

Resolution; Ordinance; (A) Aerial Photo; (B) Land Use Map; (C) Concept Plan; (D) Elevations; (E) Staff report to the Planning and Zoning Commission; (F) Planning and Zoning Commission report to the Mayor and City Council; (G) Excerpts from the Planning and Zoning Commission meeting minutes regarding this matter.

RESOLUTION NO. ____ - 21

**RESOLUTION SETTING A DATE FOR PUBLIC HEARING
FOR REZONING OF PROPERTY GENERALLY LOCATED
NORTHWEST OF THE INTERSECTION OF TANGLEFOOT LANE AND TANGLEWOOD ROAD
A-1, AGRICULTURAL/URBAN RESERVE DISTRICT
TO R-2, SINGLE-FAMILY RESIDENCE DISTRICT**

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA, that a date for public hearing be set for February 16, 2021, at 7:00 p.m., City Hall Council Chambers, 1609 State Street, on the matter of rezoning of property generally located northwest of the intersection of Tanglefoot Lane and Tanglewood Road from A-1, Agricultural/Urban Reserve District to R-2, Single-Family Residence District and legally described as:

(LEGAL DESCRIPTION TO BE SUBMITTED AT A LATER DATE)

PASSED, APPROVED, AND ADOPTED this 2nd day of February, 2021.

Robert S. Gallagher, Mayor

ATTEST:

Decker P. Ploehn, City Clerk

ORDINANCE NO. _____ - 21

**AN ORDINANCE AMENDING THE BETTENDORF, IOWA ZONE MAP
FOR PROPERTY GENERALLY LOCATED
NORTHWEST OF THE INTERSECTION OF TANGLEFOOT LANE AND TANGLEWOOD ROAD
A-1, AGRICULTURAL/URBAN RESERVE DISTRICT TO
R-2, SINGLE-FAMILY RESIDENCE DISTRICT**

BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA,

Section 1. That the Bettendorf, Iowa, Zone Map referred to in Section 4, and being a part of the Zoning Ordinance of the City of Bettendorf, Iowa, 1959, insofar as the said map pertains to the area known and described as follows:

A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE 5TH P.M., CITY OF BETTENDORF, SCOTT COUNTY, IOWA.

COMMENCING AT THE WEST QUARTER CORNER OF SECTION 14; THENCE NORTH 89°10'58" EAST 314.06 FEET ALONG THE SOUTH LINE OF THE NORTHWEST QUARTER OF SECTION 14; THENCE NORTH 01°08'24" WEST 98.85 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 01°08'24" WEST 534.25 FEET; THENCE NORTH 89°13'24" EAST 151.00 FEET; THENCE SOUTH 01°08'24" EAST 519.36 FEET; THENCE SOUTH 83°35'22" WEST 151.64 FEET TO THE POINT OF BEGINNING, CONTAINING 1.82 ACRES.

and which is now zoned A-1, Agricultural/Urban Reserve District is hereby repealed and said described land shall hereinafter be zoned R-2, Single-Family District; and the following Zone Map, which is attached hereto and incorporated herewith and made a part thereof, as the same pertains to said area, is enacted as a substitute and in lieu of said District Map.

Section 2. Severability of Provisions. If any subsection, sentence, clause, phrase or portion of this ordinance be held invalid or unconstitutional by any court of competent jurisdiction, such

portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remaining portion hereof.

Section 3. Full Force and Effect. This ordinance shall be in full force and effect from the date of passage and publications as required by law.

Section 4. Repealer. This ordinance shall be construed to repeal any prior ordinance inconsistent herewith.

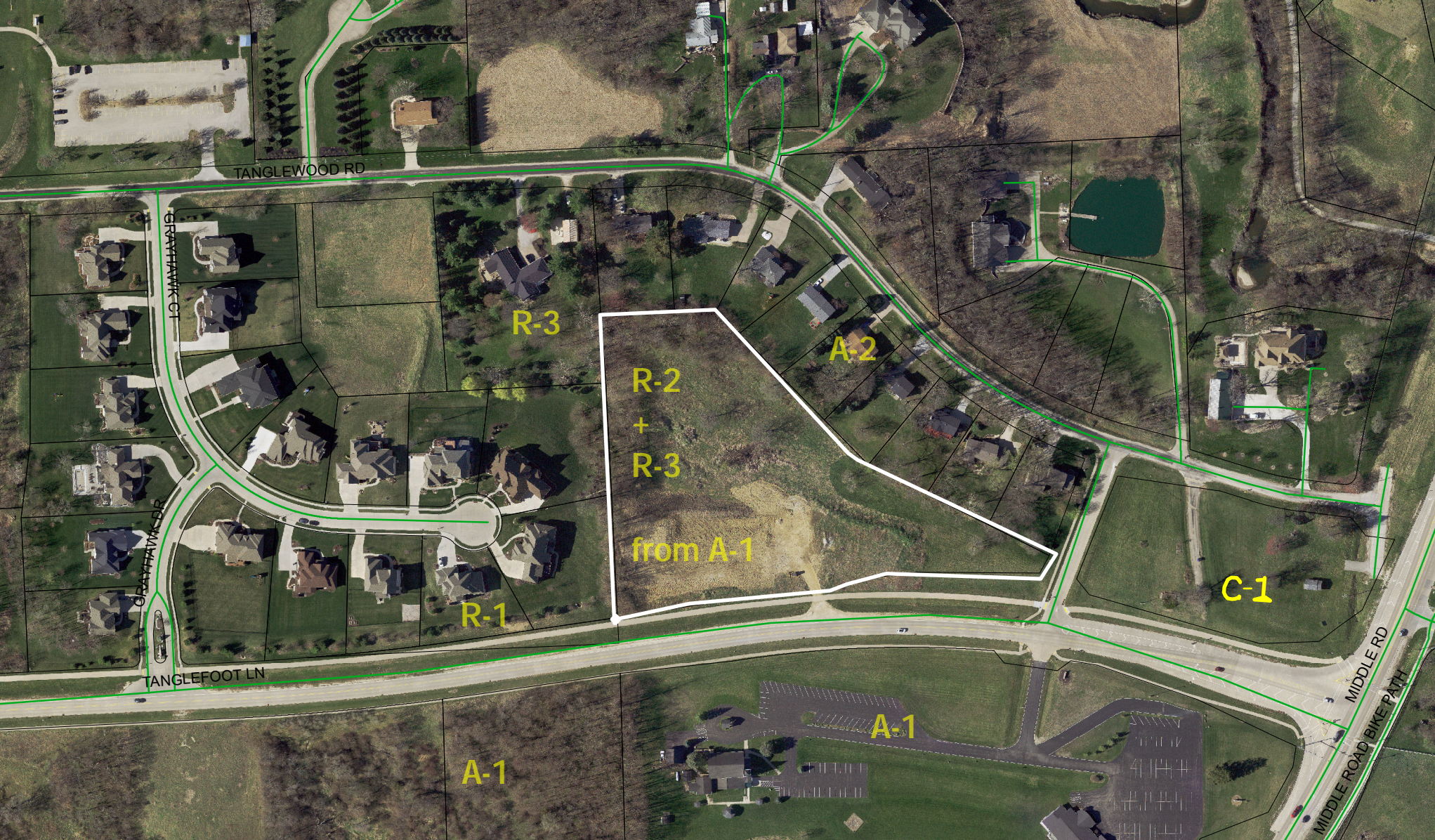
Section 5. Municipal Infraction. Any person, persons, firm, partnerships, or corporation, whether acting alone or in concert with any other, who violates this ordinance shall be guilty of a municipal infraction, and shall be penalized as set forth in Section 1-9 of the City Code of the City of Bettendorf, Iowa.

PASSED, APPROVED, AND ADOPTED this ___ day of _____, 2021.

Robert S. Gallagher, Mayor

ATTEST:

Decker P. Ploehn, City Clerk



TANGLEWOOD RD

GRAYHAWK CT

R-3

R-2
+
R-3

A-2

from A-1

GRAYHAWK DR

R-1

C-1

TANGLEFOOT LN

A-1

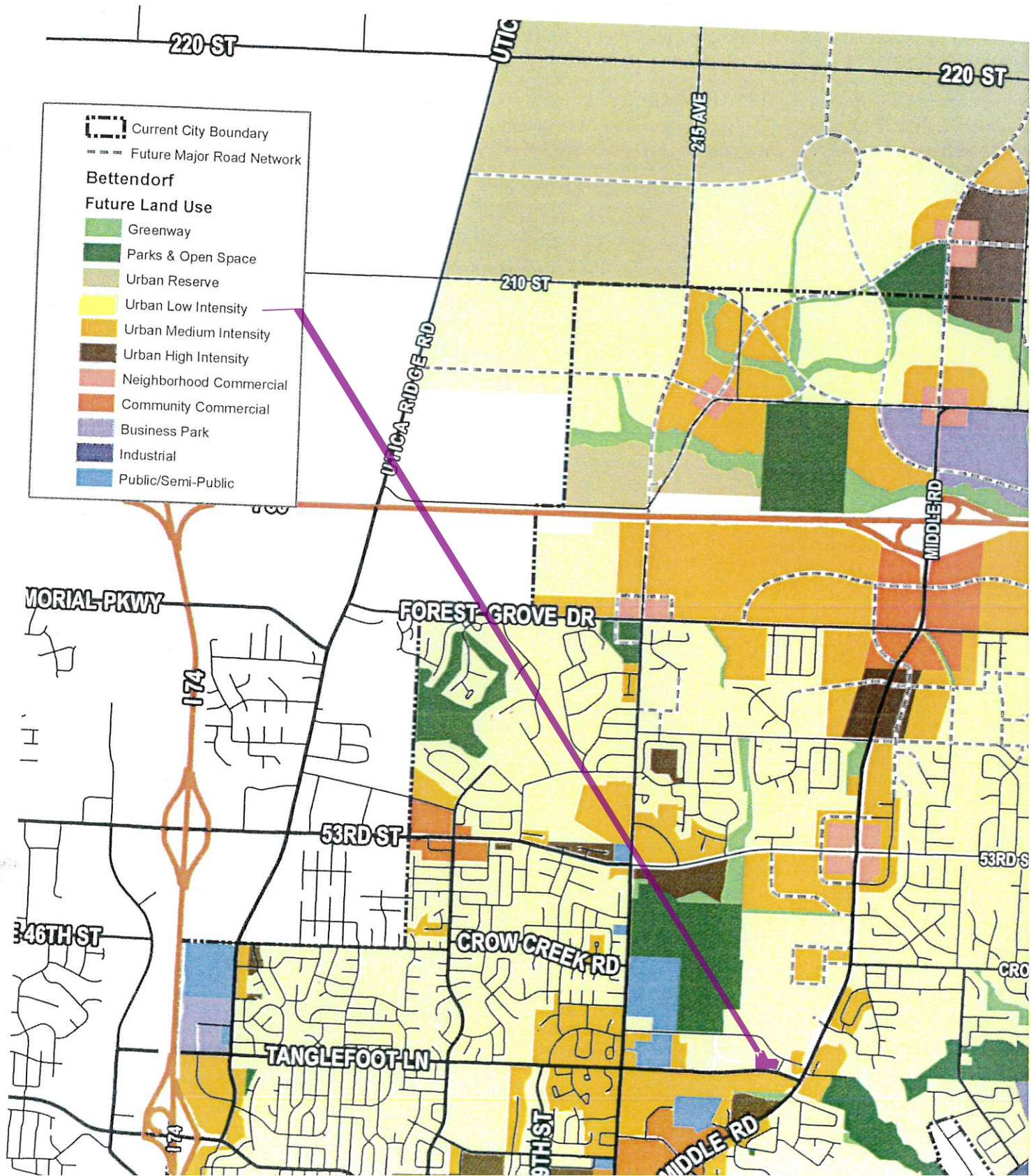
A-1

MIDDLE RD
MIDDLE ROAD BIKE PATH

FIGURE 1.4 - FUTURE LAND USE MAP

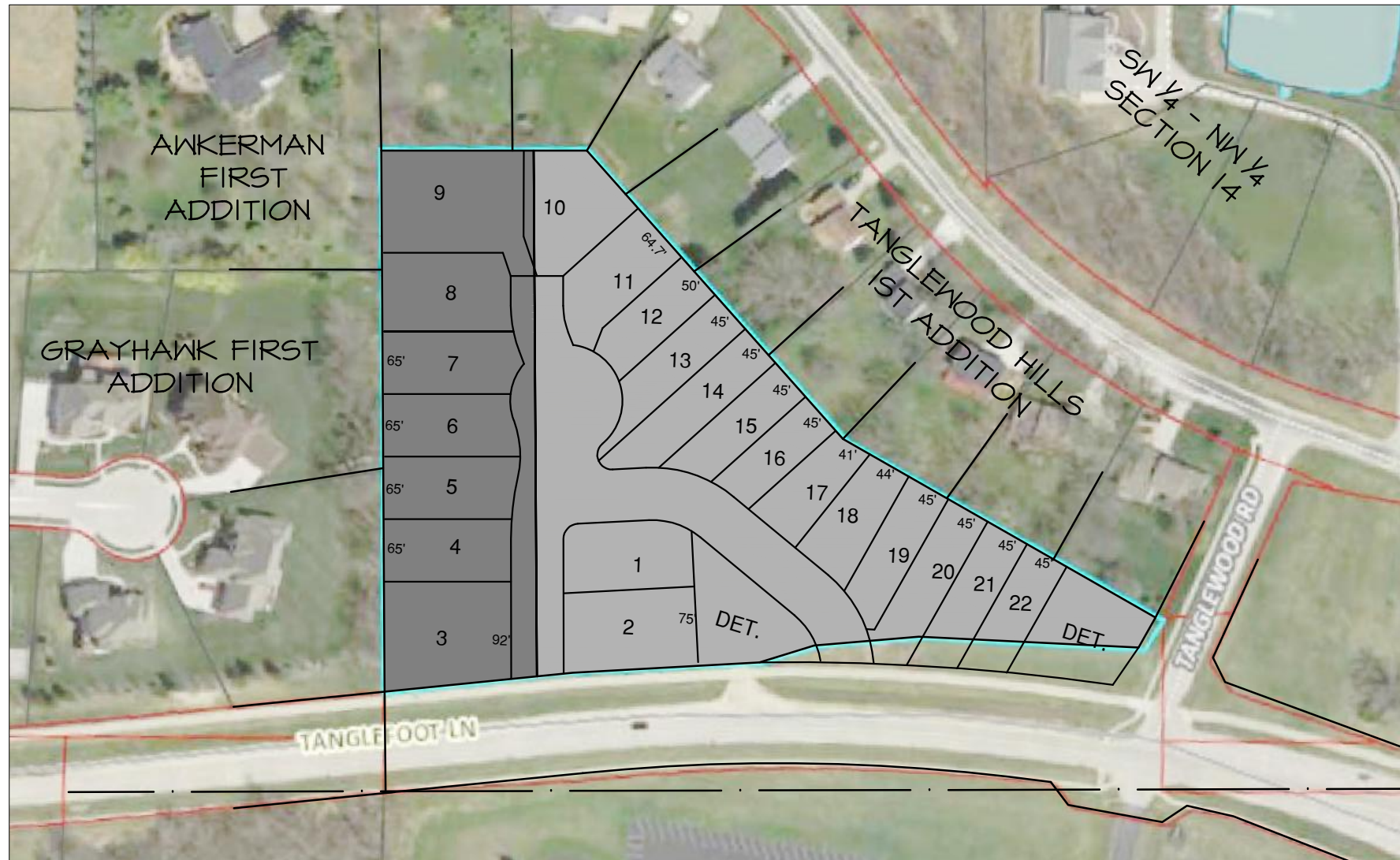


ACTION 4: Use the future land use map to guide all land use decisions, including Table 1.1 on page 29 for land use category descriptions.



R4E

RE-ZONING EXHIBIT



CURRENT ZONING - A-1

DISTRICT: AGRICULTURAL/URBAN RESERVE
 MAX HEIGHT OF BUILDING: 35'
 FRONT YARD SETBACK: 50'
 SIDE YARD SETBACK: 50'
 REAR YARD SETBACK: 50'
 MINIMUM LOT WIDTH: 400'
 MINIMUM LOT AREA: 5 ACRES

PROPOSED ZONING - R-3 | FAMILY DETACHED

DISTRICT: MIXED RESIDENTIAL
 MAX HEIGHT OF BUILDING: 35'
 FRONT YARD SETBACK: 25'
 SIDE YARD SETBACK: 5' MINIMUM/10' TOTAL
 REAR YARD SETBACK: 25'
 MINIMUM LOT WIDTH: 60'
 MINIMUM LOT AREA: 4200 SQUARE FEET PER UNIT

PROPOSED ZONING - R-3 | FAMILY ATTACHED

DISTRICT: MIXED RESIDENTIAL
 MAX HEIGHT OF BUILDING: 35'
 FRONT YARD SETBACK: 25'
 SIDE YARD SETBACK: 5' MINIMUM/10' TOTAL
 REAR YARD SETBACK: 25'
 MINIMUM LOT WIDTH: 35' PER UNIT
 MINIMUM LOT AREA: 4200 SQUARE FEET PER UNIT

PROPOSED ZONING - R-2

DISTRICT: SINGLE FAMILY RESIDENCE
 MAX HEIGHT OF BUILDING: 35'
 FRONT YARD SETBACK: 25'
 SIDE YARD SETBACK: 25'
 REAR YARD SETBACK: 25'
 MINIMUM LOT WIDTH: 65'
 MINIMUM LOT AREA: 8400 SQUARE FEET

T78N

DEVELOPER

DAN DOLAN HOMES
 KEVIN DOLAN
 2660 E. 53RD STREET, SUITE 7
 DAVENPORT, IA 52807
 PHONE - 563-381-4088

ATTORNEY

LANE AND WATERMAN LLP
 DOUGLAS R. LINDSTROM JR.
 220 NORTH MAIN STREET, SUITE 600
 DAVENPORT, IA 52801
 PHONE - 563-333-6629

ENGINEER

MARTIN AND WHITACRE
 MICHAEL W. JANECEK
 1508 BIDWELL RD.
 MUSCATINE, IA 52761
 PHONE - 563-263-7691

SURVEYOR

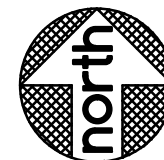
MARTIN AND WHITACRE
 SETH A. WHITACRE
 1508 BIDWELL RD.
 MUSCATINE, IA 52761
 PHONE - 563-263-7691

RE-ZONING DESCRIPTION - A-1 to R-2

The West 151' of the East 1005.84 of the Southwest Quarter of the Northwest Quarter which lies Southerly and Westerly of Tanglewood Hills 1st Addition, North of Tanglefoot Lane and East of Grayhawk First Addition and Awkerman First Addition.

RE-ZONING DESCRIPTION - A-1 to R-3

That part of the East 1005.84 of the Southwest Quarter of the Northwest Quarter which lies Southerly and Westerly of Tanglewood Hills 1st Addition, North of Tanglefoot Lane and East of Grayhawk First Addition and Awkerman First Addition, except the West 151'.



- AREA TO BE RE-ZONED FROM A-1 TO R-3
- AREA TO BE RE-ZONED FROM A-1 TO R-2

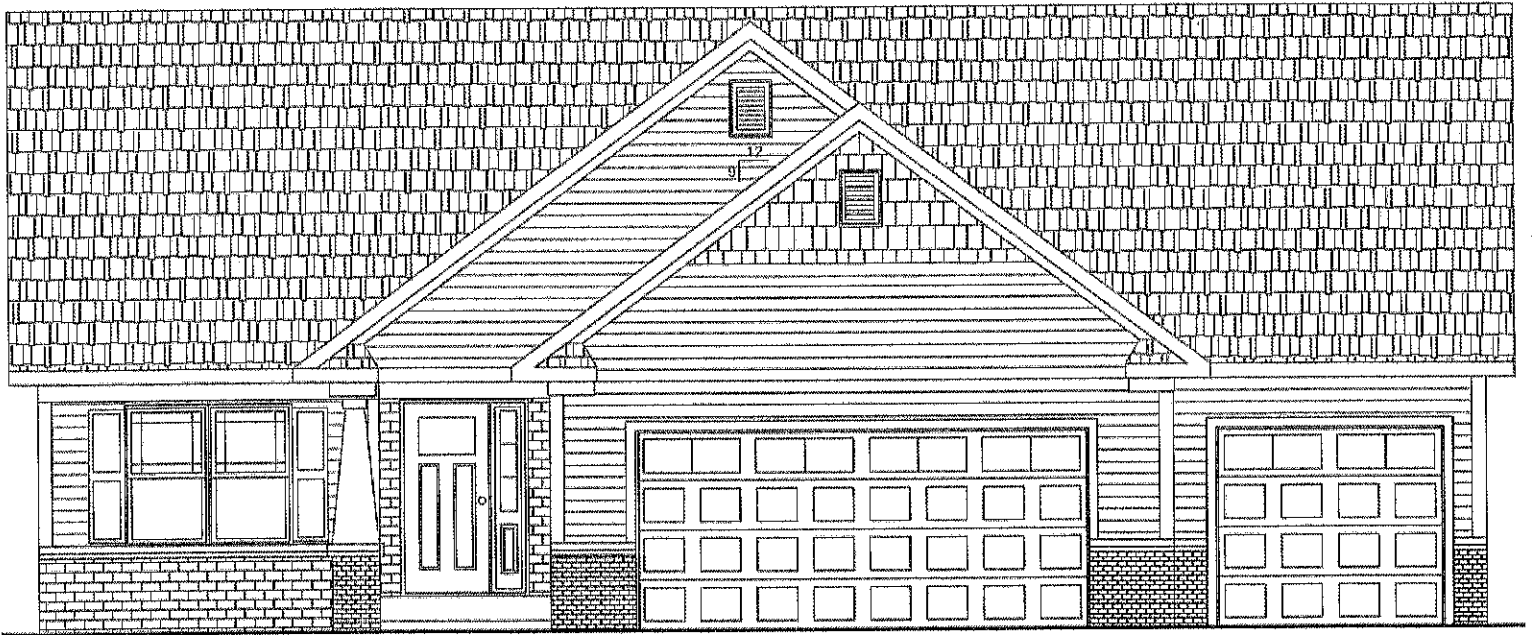
SURVEY COMPANY / RETURN TO:						
Martin & Whitacre						
Surveyors & Engineers, Inc.						
1508 BIDWELL ROAD, MUSCATINE, IOWA 52761						
INFO@MARTIN-WHITACRE.COM (563)263-7691						
SURVEYOR: SETH A. WHITACRE						
PROPRIETOR(S): TANGLEWOOD L.L.C						
REQUESTOR: DAN DOLAN HOMES						
LOCATION: SW 1/4 - NW 1/4 SECTION 14-78N-R4E						
SURVEY TYPE: RE-ZONING EXHIBIT						
FILE	BOOK	SCALE	DRN	CHK'D	DATE	JOB NO.
BETT	NONE	1"=150'	SAW	GWN	12/22/20	8623.20
REV.	0				SHEET	1 OF



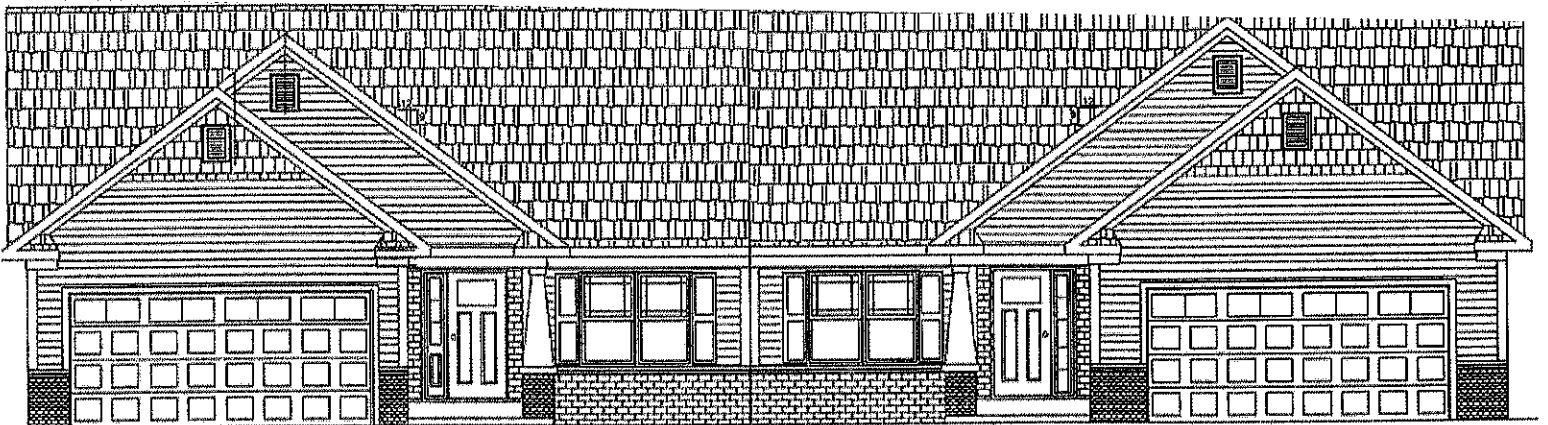


3675





SINGLE FAMILY HOUSING STYLE



COMMON WALL HOUSING TYPES



COMMUNITY DEVELOPMENT

City Hall Annex λ 4403 Devils Glen Road, Bettendorf, Iowa 52722 λ (563) 344-4100

January 20, 2021

Staff Report

Cases No. 21-001 and 21-002

Location: Northwest of the intersection of Tanglefoot Lane and Tanglewood Road – Rezoning

Applicant: Dan Dolan Homes

Current Zoning Classification: A-1, Agricultural/Urban Reserve District

Proposed Zoning Classifications: R-2, Single-family Residence District and R-3, Mixed Residential District

Current Land Use Designation: Urban Light Intensity

Background Information and Facts

Dan Dolan Homes has submitted applications for rezoning of property generally located northwest of the intersection of Tanglefoot Lane and Tanglewood Road (see Aerial Photo and Land Use Plan - Attachments A and B). The petitioner would like to rezone the western portion of the site from A-1, Agricultural/Urban Reserve District to R-2, Single-family Residence District. The remainder of the site is proposed to be rezoned from A-1 to R-3, Mixed Residential District (see Concept Layout - Attachment C).

Land Use

The land use designation for the site is Urban Light Intensity. The land use designations of the surrounding properties are Urban Light Intensity and Urban Medium Intensity. Staff believes that the R-2 and R-3 zoning districts are compatible with the surrounding residential developments and the C-1, Neighborhood Commercial district to the east.

Utilities

Water service, electrical, and sanitary and storm sewer are available from Tanglefoot Lane. It is the responsibility of the property owner to connect to all utilities.

Thoroughfare Plan/Access

Two proposed streets will provide access to the site from Tanglefoot Lane. The west street will terminate with a cul-de-sac to the north, with the east street connecting to the center of the west street. The developer is requesting that excess right-of-way near the intersection of Tanglefoot Lane and Tanglewood Road be vacated.

Storm Water Detention

Storm water detention is required and must be approved by the City Engineer at the time a site development plan is submitted. Storm water detention shall be accommodated for all development within the proposed subdivision.

Recommended Action

Staff recommends the Planning and Zoning Commission recommend approval of the rezoning requests subject to the following conditions:

1. Approval of the rezoning requests does not waive any applicable city, state, or federal provisions as required by law.
2. The vacation of excess right-of-way near the intersection of Tanglefoot Lane and Tanglewood Road must be approved by City Council.

Respectfully submitted,

Greg Beck
City Planner

January 27, 2021

Honorable Mayor and
Members of the City Council
City of Bettendorf
Bettendorf, Iowa 52722

SUBJECT: Planning and Zoning Commission's decision on the rezoning of property generally located northwest of the intersection of Tanglefoot Lane and Tanglewood Road, A-1 to R-2, submitted by Dan Dolan Homes. (Case 21-001)

Planning and Zoning Commission's decision on the rezoning of property generally located northwest of the intersection of Tanglefoot Lane and Tanglewood Road, A-1 to R-3, submitted by Dan Dolan Homes. (Case 21-002)

Honorable Mayor and Members of the City Council:

On January 20, 2021, the Planning and Zoning Commission reviewed and recommended that your Honorable Body approve the above named rezoning requests.

If you have any questions concerning this matter, please do not hesitate to contact this office.

Sincerely,

Mark D. Hunt
Director, Community Development

Rezoning

6. Case 21-001; Northwest of the intersection of Tanglefoot Lane and Tanglewood Road, A-1 Agricultural/Urban Reserve District to R-2 Single-Family Residence District, submitted by Dan Dolan Homes.
7. Case 21-002; Northwest of the intersection of Tanglefoot Lane and Tanglewood Road, A-1 Agricultural/Urban Reserve District to R-3 Mixed Residential District, submitted by Dan Dolan Homes.

Beck reviewed the staff report. Hunt added that the developer held a neighborhood meeting last week which was attended by 15-20 neighbors.

Gannaway asked for clarification of the staff comment regarding right-of-way. Morlok explained that there is some excess right-of-way on Tanglefoot Lane as a result of the reconstruction project. He added that there is a consistent 100 feet of right-of-way to the west that for some reason flares a little, adding that it is not needed by the city. He stated that City Council approval of the vacation of the right-of-way will be contingent upon approval of the entirety of the proposed development.

Wennlund commented that there is currently one curb cut and asked if there would be 2 on Tanglefoot Lane in the future. Morlok confirmed this, adding that the existing curb cut will be removed. Wennlund asked if there would be any connection to Tanglewood Road. Morlok stated that there would not.

Wennlund asked for clarification of how the developer plans to handle the substantial grade change from the subdivisions to the west and to the north. Mike Janecek, the developer's engineer, explained that because the developer is in the early stage of the project, no surveying has yet been completed. He indicated that the intent is to cut down the area where contractors have been storing excess material and grade the property to ensure proper drainage, detention, and layout of the subdivision.

Juli Sundholm, representing the property owner, explained that this is the first project that has been approved by her parents who feel it is the best use for the property.

Kevin Dolan, the applicant, stated that surrounding properties are zoned R-2, R-3, and C-1 with a commercial use to the south. He explained that in his opinion the varying zoning districts necessitate a transitional project. He indicated that the concept plans shows R-2 zoning on the west side of the development with the remainder's being zoned R-3. Dolan stated that the homes will be built for sale and that while there will be no age restrictions, the development is meant to be an age-in-place townhome concept. He explained that

the homes will be freestanding on the west side and attached duplex units on the east. He indicated that the homes will have features such as stepless entry and a homeowner's association which will take care of lawn care and snow removal.

Gibson asked if the developer has a representation of the proposed homes that could be shown. Dolan confirmed this, adding that he has a photo showing a home in a recent, similar development.

Amanda Yeggy, 4323 Tanglewood Road, asked what the price would be for the proposed homes. Dolan stated that they would be in the range of \$400,000 for both products.

Nancy Johnson, 4423 Tanglewood Road, commented that she does not believe that Tanglewood Road can handle the current traffic let alone the traffic from recent and future developments. She stated that no one has given her the details of the layout of the project or exactly where sewer and water will be located. She asked if her subdivision would be connected to sewer and questioned if the streets would be able to handle the additional traffic. Morlok explained that Tanglefoot Lane can obviously handle current and additional traffic, adding that reconstruction of Tanglewood Road might happen in 2 years and that the project would be from Devils Glen Road to the east entrance to the park. He explained that it would be a full city street and would have a trail and sidewalks. Morlok added that the developer is not required to submit engineering plans until such time as the rezoning is complete. He indicated that once the rezoning is approved, the developer is required to submit a preliminary plat, final plat, and a site development plan if any of the proposed homes are multi-family. He stated that because sanitary sewer is available at the southeast corner and storm sewer is there for detention, they would not be available for connection to the homes on Tanglewood Road. Morlok explained that because the proposed development as shown on the concept plan has no connectivity to Tanglewood Road he does not anticipate an increase in traffic on that street. He commented that the only reason he could see for a motorist to use Tanglewood Road is if their destination is the Tangled Wood restaurant.

Johnson asked what would happen to the easement in the rear yard of her property. Morlok stated that the developer would not be able to use her property during construction. Johnson asked if her easement would be taken away. Morlok stated that if the easement is on Johnson's property it would stay. Johnson stated that the easement in question is between her property and the proposed development. Hunt commented that while he has not reviewed the issue, discussion took place at the neighborhood meeting regarding the possibility that a utility easement is already in place. Curran stated that a recorded easement would not be extinguished. Morlok added that both parties to an easement would have to agree to vacate it.

Johnson asked if the developer would be putting sewer in. Morlok confirmed this, adding that it would be only for the use of the proposed subdivision and would likely be in the streets at the front of the lots. Johnson asked if the city is ever going to extend sewer to her home. Morlok stated that the decision on the extension of sewer to Tanglewood Road would be made by the City Council, reiterating that it is not a part of this project. He added that the city is considering some newer technologies for seal coat roads but that a full reconstruction would not take place within the next 5-10 years.

Hunt displayed a rendering that is similar in style to the detached homes that are proposed. Dolan explained that the drawing shows a unit with a 3-car garage which would only fit on the R-2 lots. He stated that the same freestanding or attached home with a 2-car garage could be located on the R-3 lots.

Yeggy asked if the homes would be for sale or if they would be rented. Dolan stated that while there will not be a covenant restriction, he does not anticipate that the units would be rented. Yeggy asked if the existing trees on the common property lines would be removed. Dolan stated that he would like to preserve as many trees as possible but cannot guarantee that some would need to be removed as a result of grading and construction. Yeggy asked how the proposed development would affect her property taxes and the value of her home. Dolan stated that typically new construction is of benefit to adjacent property owners but that Yeggy should consult with the county assessor. Yeggy asked when construction would begin. Dolan stated that he plans to begin in the summer of 2021.

On motion by Stoltenberg, seconded by Gannaway, that the rezoning of property located northwest of the intersection of Tanglefoot Lane and Tanglewood Road, A-1 to R-2, be recommended for approval subject to staff recommendations.

ALL AYES

Motion carried.

On motion by Stoltenberg, seconded by Gannaway, that the rezoning of property located northwest of the intersection of Tanglefoot Lane and Tanglewood Road, A-1 to R-3, be recommended for approval subject to staff recommendations.

ALL AYES

Motion carried.



MEETING DATE: February 2, 2021 (SPH)
February 16, 2021 (HPH)

COUNCIL LETTER

REQUESTED BY: Mark Hunt

ITEM TITLE: Resolution setting a date for public hearing for rezoning of property generally located northwest of the intersection of Tanglefoot Lane and Tanglewood Road, A-1 Agricultural/Urban Reserve District to R-3, Mixed Residential District, submitted by Dan Dolan Homes. (Case 21-002) (2/2/21)

Public hearing and first reading of an ordinance rezoning property generally located northwest of the intersection of Tanglefoot Lane and Tanglewood Road, A-1 Agricultural/Urban Reserve District to R-3, Mixed Residential District, submitted by Dan Dolan Homes. (Case 21-002) (2/16/21)

Explanation (Background and How it Responds to Vision, Mission, or Goals)

Dan Dolan Homes has requested rezoning of property generally located northwest of the intersection of Tanglefoot Lane and Tanglewood Road (see Aerial Photo and Land Use Map - Attachments A and B). The petitioner would like to rezone the eastern portion of the site from A-1, Agricultural/Urban Reserve District to R-3, Mixed Residential District. The remainder of the site is proposed to be rezoned from A-1 to R-2, Single-family Residence District (see Concept Plan - Attachment C). The structures will be at most one and one-half stories in height (see Elevations - Attachment D).

The Planning and Zoning Commission voted by a 5-0 margin to recommend approval of the rezoning at its January 20 meeting. Consult the staff report for further details.

Enhances the Vision: "The City of Bettendorf is the most livable community for families" is maintained by placing townhouses in areas of the City nearer single-family and two-family housing to act as a buffer from more intense uses closer to Middle Road.

If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:

N/A

List Attachments:

Resolution; Ordinance; (A) Aerial Photo; (B) Land Use Map; (C) Concept Plan; (D) Elevations; (E) Staff report to the Planning and Zoning Commission; (F) Planning and Zoning Commission report to the Mayor and City Council; (G) Excerpts from the Planning and Zoning Commission meeting minutes regarding this matter.

RESOLUTION NO. ____ - 21

**RESOLUTION SETTING A DATE FOR PUBLIC HEARING
FOR REZONING OF PROPERTY GENERALLY LOCATED
NORTHWEST OF THE INTERSECTION OF TANGLEFOOT LANE AND TANGLEWOOD ROAD
A-1, AGRICULTURAL/URBAN RESERVE DISTRICT
TO R-3, MIXED RESIDENTIAL DISTRICT**

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA, that a date for public hearing be set for February 16, 2021, at 7:00 p.m., City Hall Council Chambers, 1609 State Street, on the matter of rezoning of property generally located northwest of the intersection of Tanglefoot Lane and Tanglewood Road from A-1, Agricultural/Urban Reserve District to R-3, Mixed Residential District for property legally described as:

(LEGAL DESCRIPTION TO BE SUBMITTED AT A LATER DATE)

PASSED, APPROVED, AND ADOPTED this 2nd day of February, 2021.

Robert S. Gallagher, Mayor

ATTEST:

Decker P. Ploehn, City Clerk

ORDINANCE NO. _____ - 21

**AN ORDINANCE AMENDING THE BETTENDORF, IOWA, ZONE MAP
FOR PROPERTY GENERALLY LOCATED
NORTHWEST OF THE INTERSECTION OF TANGLEFOOT LANE AND TANGLEWOOD ROAD
A-1, AGRICULTURAL/URBAN RESERVE DISTRICT TO
R-3, MIXED USE RESIDENTIAL DISTRICT**

BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA,

Section 1. That the Bettendorf, Iowa, Zone Map referred to in Section 4, and being a part of the Zoning Ordinance of the City of Bettendorf, Iowa, 1959, insofar as the said map pertains to the area known and described as follows:

A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE 5TH P.M., CITY OF BETTENDORF, SCOTT COUNTY, IOWA.

COMMENCING AT THE WEST QUARTER CORNER OF SECTION 14; THENCE NORTH 89°10'58" EAST 314.06 FEET ALONG THE SOUTH LINE OF THE NORTHWEST QUARTER OF SECTION 14; THENCE NORTH 01°08'24" WEST 98.85 FEET; THENCE NORTH 83°35'22" EAST 151.64 FEET TO THE POINT OF BEGINNING; THENCE NORTH 01°08'24" WEST 519.36 FEET; THENCE NORTH 89°13'24" EAST 53.73 FEET; THENCE SOUTH 42°32'41" EAST 381.47 FEET; THENCE SOUTH 60°50'06" EAST 355.95 FEET; THENCE SOUTH 28°51'33" WEST 34.13 FEET; THENCE NORTH 87°52'29" WEST 217.92 FEET; THENCE SOUTH 84°32'00" WEST 103.97 FEET; THENCE SOUTH 72°09'19" WEST 56.94 FEET; THENCE SOUTH 86°10'46" WEST 185.27 FEET; THENCE SOUTH 83°35'22" WEST 35.57 FEET TO THE POINT OF BEGINNING, CONTAINING 3.53 ACRES.

and which is now zoned A-1, Agricultural/Urban District is hereby repealed and said described land shall hereinafter be zoned R-3, Mixed Residential District; and the following Zone Map, which is attached hereto and incorporated herewith and made a part thereof, as the same pertains to said area, is enacted as a substitute and in lieu of said District Map.

Section 2. Severability of Provisions. If any subsection, sentence, clause, phrase or portion of this ordinance be held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remaining portion hereof.

Section 3. Full Force and Effect. This ordinance shall be in full force and effect from the date of passage and publications as required by law.

Section 4. Repealer. This ordinance shall be construed to repeal any prior ordinance inconsistent herewith.

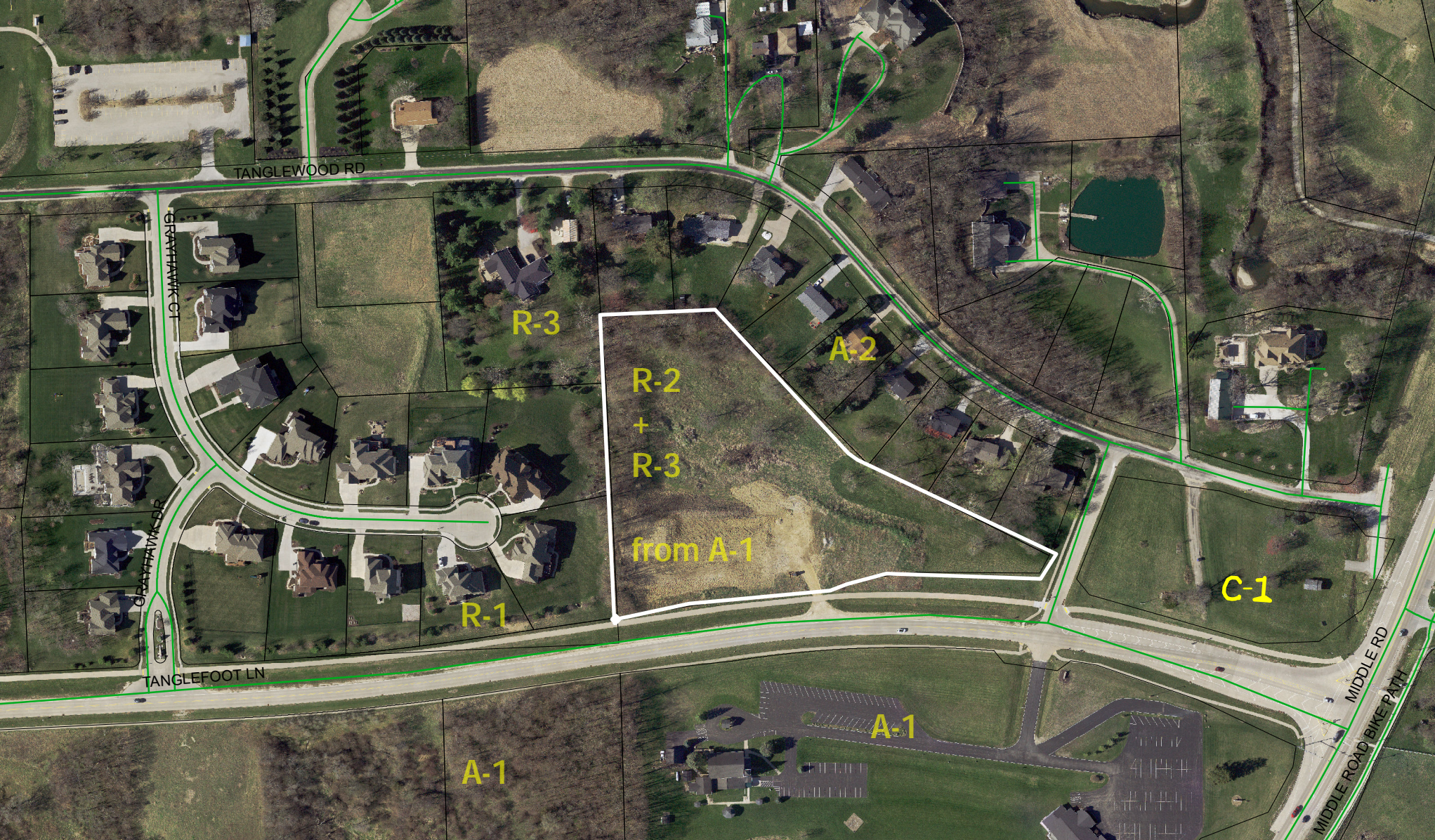
Section 5. Municipal Infraction. Any person, persons, firm, partnerships, or corporation, whether acting alone or in concert with any other, who violates this ordinance shall be guilty of a municipal infraction, and shall be penalized as set forth in Section 1-9 of the City Code of the City of Bettendorf, Iowa.

PASSED, APPROVED, AND ADOPTED this ___ day of _____, 2021.

Robert S. Gallagher, Mayor

ATTEST:

Decker P. Ploehn, City Clerk



TANGLEWOOD RD

GRAYHAWK CT

R-3

R-2
+
R-3

A-2

from A-1

GRAYHAWK DR

R-1

C-1

TANGLEFOOT LN

A-1

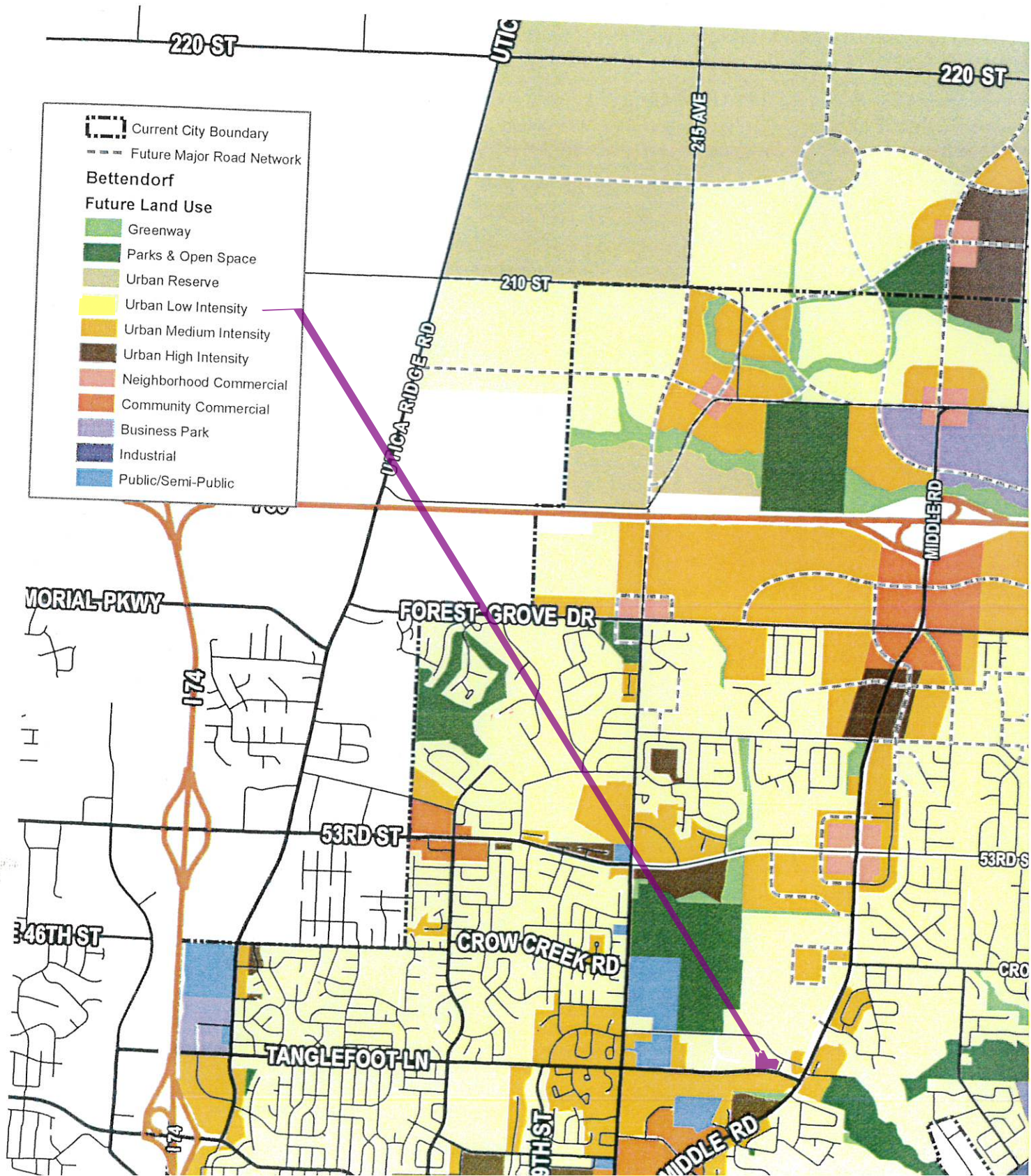
A-1

MIDDLE RD
MIDDLE ROAD BIKE PATH

FIGURE 1.4 - FUTURE LAND USE MAP

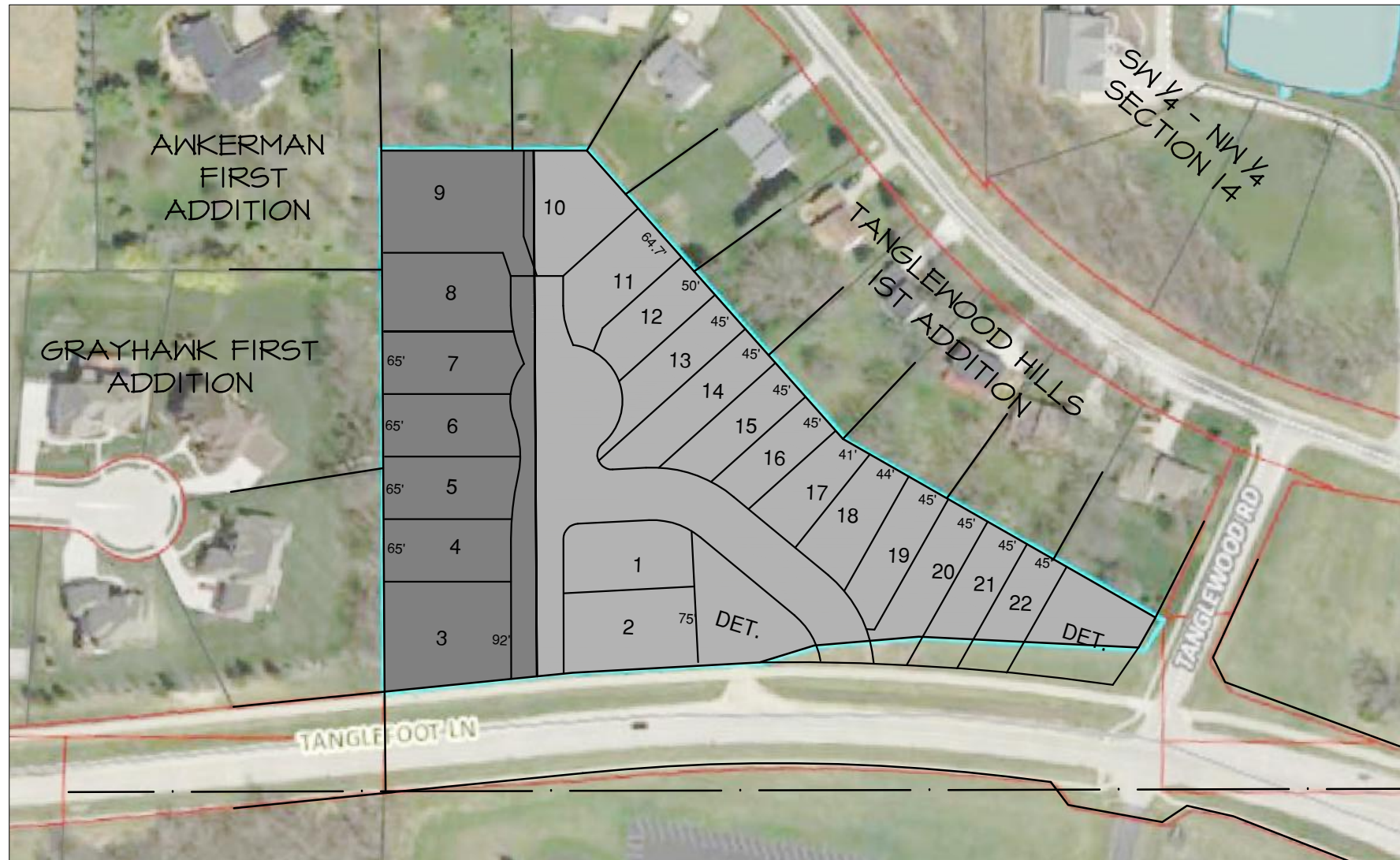


ACTION 4: Use the future land use map to guide all land use decisions, including Table 1.1 on page 29 for land use category descriptions.



R4E

RE-ZONING EXHIBIT



CURRENT ZONING - A-1

DISTRICT: AGRICULTURAL/URBAN RESERVE
 MAX HEIGHT OF BUILDING: 35'
 FRONT YARD SETBACK: 50'
 SIDE YARD SETBACK: 50'
 REAR YARD SETBACK: 50'
 MINIMUM LOT WIDTH: 400'
 MINIMUM LOT AREA: 5 ACRES

PROPOSED ZONING - R-3 | FAMILY DETACHED

DISTRICT: MIXED RESIDENTIAL
 MAX HEIGHT OF BUILDING: 35'
 FRONT YARD SETBACK: 25'
 SIDE YARD SETBACK: 5' MINIMUM/10' TOTAL
 REAR YARD SETBACK: 25'
 MINIMUM LOT WIDTH: 60'
 MINIMUM LOT AREA: 4200 SQUARE FEET PER UNIT

PROPOSED ZONING - R-3 | FAMILY ATTACHED

DISTRICT: MIXED RESIDENTIAL
 MAX HEIGHT OF BUILDING: 35'
 FRONT YARD SETBACK: 25'
 SIDE YARD SETBACK: 5' MINIMUM/10' TOTAL
 REAR YARD SETBACK: 25'
 MINIMUM LOT WIDTH: 35' PER UNIT
 MINIMUM LOT AREA: 4200 SQUARE FEET PER UNIT

PROPOSED ZONING - R-2

DISTRICT: SINGLE FAMILY RESIDENCE
 MAX HEIGHT OF BUILDING: 35'
 FRONT YARD SETBACK: 25'
 SIDE YARD SETBACK: 25'
 REAR YARD SETBACK: 25'
 MINIMUM LOT WIDTH: 65'
 MINIMUM LOT AREA: 8400 SQUARE FEET

T78N

DEVELOPER

DAN DOLAN HOMES
 KEVIN DOLAN
 2660 E. 53RD STREET, SUITE 7
 DAVENPORT, IA 52807
 PHONE - 563-381-4088

ATTORNEY

LANE AND WATERMAN LLP
 DOUGLAS R. LINDSTROM JR.
 220 NORTH MAIN STREET, SUITE 600
 DAVENPORT, IA 52801
 PHONE - 563-333-6629

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SURVEYOR

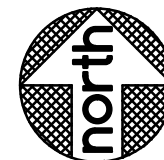
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 PHONE - 563-263-7691

RE-ZONING DESCRIPTION - A-1 to R-2

The West 151' of the East 1005.84 of the Southwest Quarter of the Northwest Quarter which lies Southerly and Westerly of Tanglewood Hills 1st Addition, North of Tanglefoot Lane and East of Grayhawk First Addition and Awkerman First Addition.

RE-ZONING DESCRIPTION - A-1 to R-3

That part of the East 1005.84 of the Southwest Quarter of the Northwest Quarter which lies Southerly and Westerly of Tanglewood Hills 1st Addition, North of Tanglefoot Lane and East of Grayhawk First Addition and Awkerman First Addition, except the West 151'.



- AREA TO BE RE-ZONED FROM A-1 TO R-3
- AREA TO BE RE-ZONED FROM A-1 TO R-2

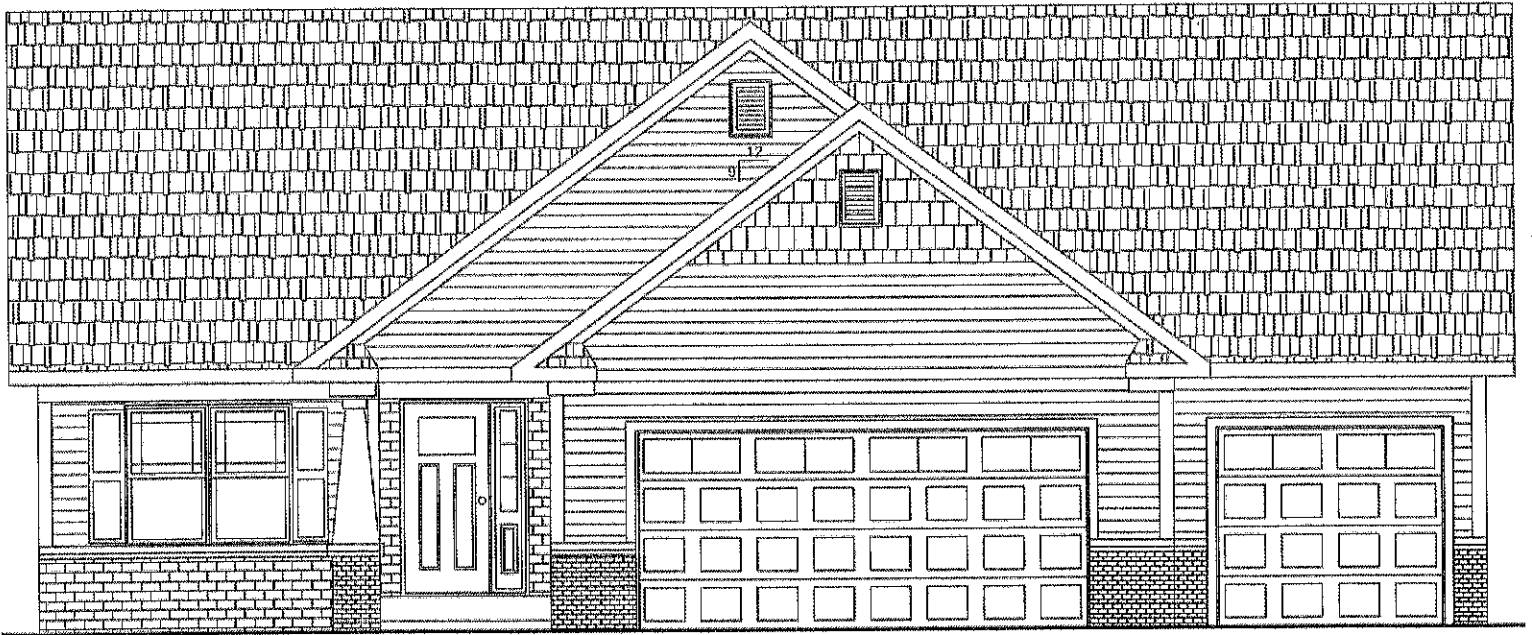
SURVEY COMPANY / RETURN TO:					
Martin & Whitacre					
Surveyors & Engineers, Inc.					
1508 BIDWELL ROAD, MUSCATINE, IOWA 52761					
INFO@MARTIN-WHITACRE.COM (563)263-7691					
SURVEYOR: SETH A. WHITACRE					
PROPRIETOR(S): TANGLEWOOD L.L.C					
REQUESTOR: DAN DOLAN HOMES					
LOCATION: SW 1/4 - NW 1/4 SECTION 14-78N-R4E					
SURVEY TYPE: RE-ZONING EXHIBIT					
FILE	BOOK	SCALE	DRN	CHK'D	DATE
BETT	NONE	1"=150'	SAW	GWN	12/22/20
REV.	0				SHEET 1 OF
					JOB NO. 8623.20



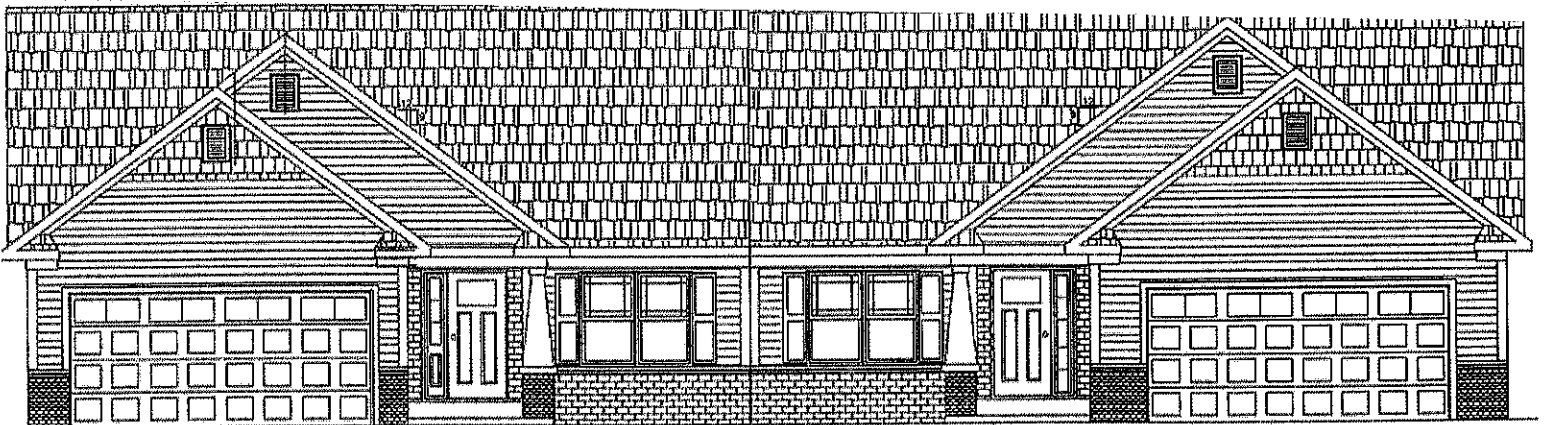


3675





SINGLE FAMILY HOUSING STYLE



COMMON WALL HOUSING TYPES



COMMUNITY DEVELOPMENT

City Hall Annex λ 4403 Devils Glen Road, Bettendorf, Iowa 52722 λ (563) 344-4100

January 20, 2021

Staff Report

Cases No. 21-001 and 21-002

Location: Northwest of the intersection of Tanglefoot Lane and Tanglewood Road – Rezoning

Applicant: Dan Dolan Homes

Current Zoning Classification: A-1, Agricultural/Urban Reserve District

Proposed Zoning Classifications: R-2, Single-family Residence District and R-3, Mixed Residential District

Current Land Use Designation: Urban Light Intensity

Background Information and Facts

Dan Dolan Homes has submitted applications for rezoning of property generally located northwest of the intersection of Tanglefoot Lane and Tanglewood Road (see Aerial Photo and Land Use Plan - Attachments A and B). The petitioner would like to rezone the western portion of the site from A-1, Agricultural/Urban Reserve District to R-2, Single-family Residence District. The remainder of the site is proposed to be rezoned from A-1 to R-3, Mixed Residential District (see Concept Layout - Attachment C).

Land Use

The land use designation for the site is Urban Light Intensity. The land use designations of the surrounding properties are Urban Light Intensity and Urban Medium Intensity. Staff believes that the R-2 and R-3 zoning districts are compatible with the surrounding residential developments and the C-1, Neighborhood Commercial district to the east.

Utilities

Water service, electrical, and sanitary and storm sewer are available from Tanglefoot Lane. It is the responsibility of the property owner to connect to all utilities.

Thoroughfare Plan/Access

Two proposed streets will provide access to the site from Tanglefoot Lane. The west street will terminate with a cul-de-sac to the north, with the east street connecting to the center of the west street. The developer is requesting that excess right-of-way near the intersection of Tanglefoot Lane and Tanglewood Road be vacated.

Storm Water Detention

Storm water detention is required and must be approved by the City Engineer at the time a site development plan is submitted. Storm water detention shall be accommodated for all development within the proposed subdivision.

Recommended Action

Staff recommends the Planning and Zoning Commission recommend approval of the rezoning requests subject to the following conditions:

1. Approval of the rezoning requests does not waive any applicable city, state, or federal provisions as required by law.
2. The vacation of excess right-of-way near the intersection of Tanglefoot Lane and Tanglewood Road must be approved by City Council.

Respectfully submitted,

Greg Beck
City Planner

January 27, 2021

Honorable Mayor and
Members of the City Council
City of Bettendorf
Bettendorf, Iowa 52722

SUBJECT: Planning and Zoning Commission's decision on the rezoning of property generally located northwest of the intersection of Tanglefoot Lane and Tanglewood Road, A-1 to R-2, submitted by Dan Dolan Homes. (Case 21-001)

Planning and Zoning Commission's decision on the rezoning of property generally located northwest of the intersection of Tanglefoot Lane and Tanglewood Road, A-1 to R-3, submitted by Dan Dolan Homes. (Case 21-002)

Honorable Mayor and Members of the City Council:

On January 20, 2021, the Planning and Zoning Commission reviewed and recommended that your Honorable Body approve the above named rezoning requests.

If you have any questions concerning this matter, please do not hesitate to contact this office.

Sincerely,

Mark D. Hunt
Director, Community Development

Rezoning

6. Case 21-001; Northwest of the intersection of Tanglefoot Lane and Tanglewood Road, A-1 Agricultural/Urban Reserve District to R-2 Single-Family Residence District, submitted by Dan Dolan Homes.
7. Case 21-002; Northwest of the intersection of Tanglefoot Lane and Tanglewood Road, A-1 Agricultural/Urban Reserve District to R-3 Mixed Residential District, submitted by Dan Dolan Homes.

Beck reviewed the staff report. Hunt added that the developer held a neighborhood meeting last week which was attended by 15-20 neighbors.

Gannaway asked for clarification of the staff comment regarding right-of-way. Morlok explained that there is some excess right-of-way on Tanglefoot Lane as a result of the reconstruction project. He added that there is a consistent 100 feet of right-of-way to the west that for some reason flares a little, adding that it is not needed by the city. He stated that City Council approval of the vacation of the right-of-way will be contingent upon approval of the entirety of the proposed development.

Wennlund commented that there is currently one curb cut and asked if there would be 2 on Tanglefoot Lane in the future. Morlok confirmed this, adding that the existing curb cut will be removed. Wennlund asked if there would be any connection to Tanglewood Road. Morlok stated that there would not.

Wennlund asked for clarification of how the developer plans to handle the substantial grade change from the subdivisions to the west and to the north. Mike Janecek, the developer's engineer, explained that because the developer is in the early stage of the project, no surveying has yet been completed. He indicated that the intent is to cut down the area where contractors have been storing excess material and grade the property to ensure proper drainage, detention, and layout of the subdivision.

Juli Sundholm, representing the property owner, explained that this is the first project that has been approved by her parents who feel it is the best use for the property.

Kevin Dolan, the applicant, stated that surrounding properties are zoned R-2, R-3, and C-1 with a commercial use to the south. He explained that in his opinion the varying zoning districts necessitate a transitional project. He indicated that the concept plans shows R-2 zoning on the west side of the development with the remainder's being zoned R-3. Dolan stated that the homes will be built for sale and that while there will be no age restrictions, the development is meant to be an age-in-place townhome concept. He explained that

the homes will be freestanding on the west side and attached duplex units on the east. He indicated that the homes will have features such as stepless entry and a homeowner's association which will take care of lawn care and snow removal.

Gibson asked if the developer has a representation of the proposed homes that could be shown. Dolan confirmed this, adding that he has a photo showing a home in a recent, similar development.

Amanda Yeggy, 4323 Tanglewood Road, asked what the price would be for the proposed homes. Dolan stated that they would be in the range of \$400,000 for both products.

Nancy Johnson, 4423 Tanglewood Road, commented that she does not believe that Tanglewood Road can handle the current traffic let alone the traffic from recent and future developments. She stated that no one has given her the details of the layout of the project or exactly where sewer and water will be located. She asked if her subdivision would be connected to sewer and questioned if the streets would be able to handle the additional traffic. Morlok explained that Tanglefoot Lane can obviously handle current and additional traffic, adding that reconstruction of Tanglewood Road might happen in 2 years and that the project would be from Devils Glen Road to the east entrance to the park. He explained that it would be a full city street and would have a trail and sidewalks. Morlok added that the developer is not required to submit engineering plans until such time as the rezoning is complete. He indicated that once the rezoning is approved, the developer is required to submit a preliminary plat, final plat, and a site development plan if any of the proposed homes are multi-family. He stated that because sanitary sewer is available at the southeast corner and storm sewer is there for detention, they would not be available for connection to the homes on Tanglewood Road. Morlok explained that because the proposed development as shown on the concept plan has no connectivity to Tanglewood Road he does not anticipate an increase in traffic on that street. He commented that the only reason he could see for a motorist to use Tanglewood Road is if their destination is the Tangled Wood restaurant.

Johnson asked what would happen to the easement in the rear yard of her property. Morlok stated that the developer would not be able to use her property during construction. Johnson asked if her easement would be taken away. Morlok stated that if the easement is on Johnson's property it would stay. Johnson stated that the easement in question is between her property and the proposed development. Hunt commented that while he has not reviewed the issue, discussion took place at the neighborhood meeting regarding the possibility that a utility easement is already in place. Curran stated that a recorded easement would not be extinguished. Morlok added that both parties to an easement would have to agree to vacate it.

Johnson asked if the developer would be putting sewer in. Morlok confirmed this, adding that it would be only for the use of the proposed subdivision and would likely be in the streets at the front of the lots. Johnson asked if the city is ever going to extend sewer to her home. Morlok stated that the decision on the extension of sewer to Tanglewood Road would be made by the City Council, reiterating that it is not a part of this project. He added that the city is considering some newer technologies for seal coat roads but that a full reconstruction would not take place within the next 5-10 years.

Hunt displayed a rendering that is similar in style to the detached homes that are proposed. Dolan explained that the drawing shows a unit with a 3-car garage which would only fit on the R-2 lots. He stated that the same freestanding or attached home with a 2-car garage could be located on the R-3 lots.

Yeggy asked if the homes would be for sale or if they would be rented. Dolan stated that while there will not be a covenant restriction, he does not anticipate that the units would be rented. Yeggy asked if the existing trees on the common property lines would be removed. Dolan stated that he would like to preserve as many trees as possible but cannot guarantee that some would need to be removed as a result of grading and construction. Yeggy asked how the proposed development would affect her property taxes and the value of her home. Dolan stated that typically new construction is of benefit to adjacent property owners but that Yeggy should consult with the county assessor. Yeggy asked when construction would begin. Dolan stated that he plans to begin in the summer of 2021.

On motion by Stoltenberg, seconded by Gannaway, that the rezoning of property located northwest of the intersection of Tanglefoot Lane and Tanglewood Road, A-1 to R-2, be recommended for approval subject to staff recommendations.

ALL AYES

Motion carried.

On motion by Stoltenberg, seconded by Gannaway, that the rezoning of property located northwest of the intersection of Tanglefoot Lane and Tanglewood Road, A-1 to R-3, be recommended for approval subject to staff recommendations.

ALL AYES

Motion carried.



MEETING DATE: February 16, 2021
REQUESTED BY: Decker Ploehn, Chris Curran

COUNCIL LETTER

ITEM TITLE: AN ORDINANCE AMENDING TITLE 2, SECTION 8 OF THE CITY CODE OF THE CITY OF BETTENDORF, IOWA, BY DISSOLVING THE ELECTED PARK AND RECREATION BOARD AND REPLACING IT WITH AN APPOINTED ADVISORY BOARD

EXPLANATION (Background & How it Responds to Vision, Mission or Goals):

City Council desires to discontinue the elected Park and Recreation Board, and to replace the board with an appointed advisory board. Having two elected boards provide oversight of over the same department is no longer necessary or efficient.

Changing the elected Park & Recreation Board to an appointed advisory board will allow us to attract different members of our community while not being required to run for office to serve in that capacity. It should allow us to be more inclusive, more diverse and gender balanced. It will provide a much broader opportunity for input from the community.

There are only ten (including Bettendorf) elected park boards left in the state and most of them are in smaller communities.

On December 15, 2020, Council passed a resolution indicating the intent and proposed action to discontinue the elected Park and Recreation Board and establishment of an appointed advisory board. A public hearing took place on January 5, 2021. The thirty (30) day waiting period required by Iowa Code § 392.7 has elapsed. The ordinance before council dissolves the elected park board and replaces it with an appointed advisory board.

BUDGET IMPACT: The City will save approximately \$35,000 per year as a result of this move (salaries of the Park Commissioners approximately \$19,225 and operational support of approximately \$15,000).

ATTACHMENT(S): Ordinance

AN ORDINANCE AMENDING TITLE 2, SECTION 8 OF THE CITY CODE OF THE CITY OF BETTENDORF, IOWA, BY DISSOLVING THE ELECTED PARK AND RECREATION BOARD AND REPLACING IT WITH AN APPOINTED ADVISORY BOARD

WHEREAS, the Park and Recreation Board, outlined in Title 2, Chapter 8 of the City Code of the City of Bettendorf, Iowa, is an administrative agency of the City pursuant to Chapter 392 of the Code of Iowa; and

WHEREAS, the City Council has heretofore deemed it desirable to dissolve said agency and replace it with an appointed board that provides recommendations to the City Council; and

WHEREAS, to that end, the City Council of the City of Bettendorf held a public hearing on January 5, 2021, and adopted a resolution to establish intent to dissolve the Park and Recreation Board pursuant to Section 392.7 of the Code of Iowa; and

WHEREAS, Section 392.7 stipulates that following adoption of a resolution of intent, the Council may discontinue the agency by ordinance not sooner than thirty days following the public hearing, a period which has elapsed.

NOW, BE IT ENACTED by the City Council that Title 2, Section 8 of the City Code of the City of Bettendorf, Iowa, be amended as follows:

SECTION 1. Title 2, Chapter 8 of the City Code of the City of Bettendorf, Iowa, Park and Recreation Board, is hereby repealed and a new Title 2, Chapter 8 of the City Code entitled "Parks and Recreation Board" is created by adding the following text:

2-8-1: ADVISORY BOARD CREATED; FUNCTION:

A parks and recreation board is hereby created to advise the council and director of parks and recreation on the needed facilities to provide open space such as parks, playgrounds, and community facilities, or other forms of recreation. It shall also advise the council and director of parks and recreation of city programs and encourage other programs, for the leisure time of the city's residents of all ages. The parks and recreation board shall meet on no less than a quarterly basis.

2-8-2: APPOINTMENTS; QUALIFICATIONS

A. Terms: The board shall consist of no more than ten (10) board members, all at least eighteen (18) years old and citizens of the city, whose terms of office shall be three (3) years in duration commencing July 1. Appointments shall be made, as near as possible, to stagger the terms. Appointments made to fill a vacancy shall be for the balance of the term. Appointments made upon the commencement of board may be made for shorter terms and on such commencement date as the mayor determines.

B. Appointment: The board shall be appointed by the mayor, with ratification by council.

2-8-3: DUTIES AND RESPONSIBILITIES:

In furtherance of the purpose set forth in City Code § 2-8-1, the board shall have the following duties and responsibilities:

A. To meet and organize the selection of one of their members to serve as president and such other officers as the board shall deem appropriate.

B. To establish its rules of procedure, time and place of meeting, and votes required, so long as such rules do not violate municipal or state code requirements.

C. To establish policies concerning hours of operation and classes provided, presented consistent with budgeted amounts, and to establish such other policies and make such recommendations to the council and the director of parks and recreation as appropriate to fulfill the purpose of City Code § 2-8-1.

D. To work with and support the department and other city officials in the promotion of parks and recreation.

E. To accept on behalf of the city gifts or items deemed appropriate for use by parks and recreation, funds given to the department, establish long range strategic directives for the department and work toward their achievement.

F. To recommend to the mayor the appointment of persons to serve on the board.

G. To establish such committees or task forces as will assist the board in implementing the above duties.

2-8-4: COMPENSATION:

Members of the board shall serve without compensation.

2-8-5: DIRECTOR OF PARKS AND RECREATION:

The director of parks and recreation shall serve as the department head for the parks and recreation department.

SECTION 2. Severability. If any section, subsection, sentence, clause, phrase or portion of this ordinance be held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remaining portion hereof.

SECTION 3. Repealer. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION 4. Effective Date. This Ordinance shall be effective after its final passage, approval and publication as provided by law.

PASSED AND APPROVED this ____ day of _____, 2021.

Robert S. Gallagher, Mayor

ATTEST:

Decker P. Ploehn, City Clerk



MEETING DATE: February 16, 2021
REQUESTED BY: Decker Ploehn, Chris Curran

COUNCIL LETTER

ITEM TITLE: AN ORDINANCE AMENDING TITLE 2, CHAPTER 9, TITLE 7, CHAPTER 6 AND TITLE 3, CHAPTER 12C OF THE CITY CODE OF THE CITY OF BETTENDORF, IOWA, RELATING TO PARKS AND RECREATION

EXPLANATION (Background & How it Responds to Vision, Mission or Goals):

At tonight's meeting, Council has a separate item on the agenda relating to the dissolution of the elected park board and the establishment of an appointed advisory park board. If the ordinance relating to the revisions of the park board is passed, certain changes in the City Code relating to decision-making power vested in the park and recreation board will be required, placing such power with the City Council or Mayor (regarding appointment). This ordinance makes such amendments, namely:

1. Title 2, Chapter 9 (Tree Committee): Regarding the appointment of members and duties of such committee.
2. Title 7, Chapter 6 (Parks and Recreation): Regarding certain permissions for use of parks or park facilities.
3. Title 3, Chapter 12C (Horsedrawn Carriages): Regarding operation from city park.

BUDGET IMPACT: N/A

ATTACHMENT(S): Ordinance

AN ORDINANCE AMENDING TITLE 2, CHAPTER 9, TITLE 7, CHAPTER 6 AND TITLE 3, CHAPTER 12C OF THE CITY CODE OF THE CITY OF BETTENDORF, IOWA, RELATING TO PARKS AND RECREATION

WHEREAS, in concert with the ordinance of even date dissolving the elected park board and replacing it with an advisory board, certain revisions to the organization and operation of the Tree Committee as outlined in Title 2, Chapter 9 are required, and;

WHEREAS, in concert with the ordinance of even date dissolving the elected park board and replacing it with an advisory board, certain revisions relating to the powers of the elected park board as outlined in Title 7, Chapter 6 are required, and;

WHEREAS, in concert with the ordinance of even date dissolving the elected park board and replacing it with an advisory board, certain revisions relating to the permission for horse-drawn vehicles as outlined in Title 3, Chapter 12C are required;

BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA:

SECTION 1. Section 2-9-1 is amended by deleting the references to the “park and recreation board” and replacing such references with “mayor”.

SECTION 2. Section 2-9-2 is amended by deleting the references to the “park and recreation board” and replacing such references with “city council”.

SECTION 3. Section 2-9-3 is amended by deleting the reference to the “park and recreation board” and replacing such reference with “city council”.

SECTION 4. Section 7-6-1 is amended by deleting the reference to “park and recreation board” and replacing such reference with “city council”.

SECTION 5. Section 7-6-5 is amended by deleting references to “park and recreation board” and replacing such references with “city council”.

SECTION 6. Section 7-6-7 is amended by deleting references to “park and recreation board” and replacing such references with “city council”, with the exception that the reference in the title of 7-6-7(E) shall be replaced with “Parks and Recreation”.

SECTION 7. Section 3-12C-3 is amended by deleting references to “park and recreation board” and replacing such references with “city council”.

SECTION 8. Severability. If any section, subsection, sentence, clause, phrase or portion of this ordinance be held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remaining portion hereof.

SECTION 9. Repealer. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION 10. Effective Date. This ordinance shall be in full force and effect from and after the date of passage and publication as required by law.

PASSED AND APPROVED this ____ day of _____, 2021.

Robert S. Gallagher, Mayor

ATTEST:

Decker P. Ploehn, City Clerk



MEETING DATE: March 2, 2021

COUNCIL LETTER

REQUESTED BY: Schadt

ITEM TITLE: (Please use same title as it will appear on your resolution.)

An Ordinance adjusting the rates for Stormwater Utility, Sewer Utility, and Solid Waste Enterprise activities of the City

Explanation (Background & How it Responds to Vision, Mission or Goals)

During the FY 2021/22 budget work sessions, staff presented the Mayor and Council with a plan to balance revenues and expenditures in several Enterprise Funds by raising user fees. The increases needed in the Stormwater and Sewer Utility funds are primarily project driven, and a complete list of projects for these funds can be found in the City's FY 2021/22 Capital Improvement Plan. Fee increases are proposed in the Solid Waste Fund to maintain a breakeven operation and to adequately fund future truck and cart replacements.

The proposed increases are outlined in detail in the attached ordinance establishing the rate changes effective April 1, 2021, or on the day of publication, whichever occurs later.

The proposed increase in rates are summarized below:

Monthly Solid Waste Fee	Increase 3%
Monthly Stormwater Fee per Equivalent Residential Unit (ERU)	Increase from \$5.00 to \$5.20 ERU
Unit charge per 100 cubic feet of Sewer Wastewater	Increase from \$3.41 to \$3.55

Three readings are required to pass the Ordinance, unless the Council chooses to waive the rules. The March 2nd reading will be the second of three readings.

If the matter is not budgeted in the current year, explain why funding is requested and the anticipation:

Raising the fees, as proposed, will maintain balanced operations for each of the Sewer Enterprise, Stormwater Enterprise and Solid Waste Enterprise Funds for FY 2021/22.

List Attachments:

Ordinance, Section 8-3-6; Section 8-2-6; Section 9-1-7. Reviewed by City Attorney.

An Ordinance Adjusting the rates for Stormwater Utility, Sewer Utility, and Solid Waste Enterprise activities of the City

Whereas, the revenues generated by the rates in the stormwater utility, the sanitary sewer utility, and the solid waste enterprise do not match expenses, and

Whereas, it is a goal of these activities that the revenues equal the expenses,

NOW THEREFORE BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA:

Section One. Section 8-3-6 of the municipal code is hereby deleted, and the following substituted therefore, effective April 1, 2021:

“Sec. 8-3-6. **GARBAGE AND RECYCLING COLLECTION RATES:**

The city shall utilize an automated garbage collection service and the rate for the combined garbage and recycling collection shall be as established in subsections B and C of this section, effective April 1, 2021:

A. Yard Waste: The rate for the sticker which is affixed to the yard waste bag shall be one dollar sixty cents (\$1.60). Each bag shall require a separate sticker for collection.

B. Garbage and Recycling: Users of garbage collection service shall be charged a fee as follows:

Garbage & Recycling	Monthly Fee
32 gallon cart/every other week	\$8.84
32 gallon cart/weekly collection	\$13.25
65 gallon cart/weekly collection	\$17.62
95 gallon cart/weekly collection	\$22.03
Quarterly handling charge per billing	\$4.00

C. Cart Exchange: Users wanting to exchange an existing cart for a different sized cart will be billed a twenty-five dollar (\$25.00) exchange fee.

D. Excess Garbage: Users who have garbage beyond what the cart will hold shall place a special garbage sticker on the bag of garbage to be collected; only

garbage bags bearing the sticker shall be collected. The special garbage sticker shall be three dollars (\$3.00) per bag.

E. Nonpayment; Lien: Users shall pay the fee charged in subsections B and C of this section on a quarterly basis, with such billing to the address of service by the city. In the event the bill is not paid, the unpaid amount shall be assessed against the property and become a lien thereon, payable in the manner of property taxes as allowed by section 384.84 of the state code (2007) or as it may later be amended.

F. Date Due; Penalty: All garbage and recycling charges are due and payable thirty (30) days following the date of billing. When a bill becomes past due, a late charge equal to ten percent (10%) of the garbage and recycling charge shall be added to the original bill and a new bill shall be mailed to the user. The revised bill is due and payable fifteen (15) days following the date the first bill became due and payable.”

Section Two. Section 8-2-6(H) of the municipal code is hereby deleted and the following substituted therefore, effective April 1, 2021:

“Sec. 8-2-6. **SEWER UTILITY RATES:**

...

H. Rate Charged:

1. Effective April 1, 2021, the comprehensive sewer service charge, as provided in this section, to be paid by the users of the wastewater treatment facilities of the city and billed beginning April 1, 2021, is hereby established as three dollars and fifty-five cents (\$3.55) per one hundred (100) cubic feet of metered water usage plus a six dollar (\$6.00) quarterly handling charge per billing.

2. The comprehensive sewer service charges for residential users connected to the sanitary sewer but who do not receive water through a metered service of the Iowa-American Water Company shall be billed by the city clerk to each dwelling unit user every three (3) months and is hereby established as eighty-four dollars and thirty-one cents (\$84.31) plus a six dollar (\$6.00) handling charge per billing for a total cost of ninety dollars and thirty-one cents (\$90.31) every three months beginning with bills mailed April 1, 2021.”

Section Three. Section 9-1-7 of the municipal code is hereby deleted, and the following substituted therefore, effective April 1, 2020:

“Sec. 9-1-7: **STORMWATER SERVICE CHARGES AND FEES:**

A. Accrual Of Charges; Billing: Stormwater service charges shall accrue beginning July 1, 2003, and shall be billed periodically thereafter to customers, except as specific exemptions and credits may apply.

B. ERU Standards: The following ERU standards shall apply, effective April 1, 2021:

1. Charges: Stormwater service charges are per equivalent residential unit (ERU) or increment thereof. The charge per ERU shall be five dollars and twenty cents (\$5.20) per month plus a four dollar (\$4.00) quarterly handling charge per billing.

2. Residential Detached Dwelling Units: Residential properties with detached dwelling units shall be charged a stormwater fee based upon the amount of impervious area found on the property. The calculations of impervious area are based upon a formula that uses the total amount of square footage of land, as shown on the official records at the Scott County assessor's office, multiplied by a factor of thirty percent (30%). This value is then divided by two thousand five hundred (2,500) to determine the amount of equivalent residential units (ERUs) for that property. No property shall be charged less than one ERU per month. No property shall be charged more than five (5) ERUs per month.

3. Other Developed Lands: All developed lands not classified as detached dwelling units shall be billed for one equivalent residential unit (ERU) for each two thousand five hundred (2,500) square feet of impervious surface or increment thereof. (Ord. 05-16, 3-15-2016)”

Section Four . Full Force and Effect.

This ordinance shall be in full force and effect from the date of passage and publication as required by law.

Section Five . Repealer.

This ordinance shall be construed to repeal any prior ordinance inconsistent herewith.

Section Six . Severability of Provisions.

If any section, subsection, sentence, clause, phrase or portion of this ordinance be held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remaining portion hereof.

Section Seven . Municipal Infraction.

Any person, firm, or corporation who violates this ordinance shall be guilty of a municipal infraction and shall be penalized as set forth in Section 1-4-2 of the Municipal Code of the City of Bettendorf, Iowa.

Passed, Approved, and Adopted this _____ day of _____, 2021.

Mayor

Attest:

City Clerk

**CITY OF BETTENDORF
CITY COUNCIL MEETING MINUTES**

FEBRUARY 16, 2021

The City Council of Bettendorf, Iowa met in regular session on February 16, 2021 at 7:00 p.m., in the Council Chambers at Bettendorf City Hall, 1609 State Street, Bettendorf, Iowa.

Due to the current COVID-19 situation, additional and necessary measures were taken at the City Council meeting to adhere to social distancing recommendations. Members of the public who wished to be heard at the Public Requests of Council, or for any Public Hearing scheduled to appear, were asked to attend the Council Meeting in person, or contact 563-344-4013 for specific questions or alternative participation. In an effort to practice social distancing and in support of CDC guidelines, the City of Bettendorf broadcasted this public meeting online at <http://www.bettendorf.org/live-meeting>. Constituents who did not have a matter to address with City Council in person were strongly encouraged to stay at home and view the meeting online.

In order to follow CDC Guidelines, two Council Members and the majority of our Department Heads attended tonight's meeting via Zoom.

Council Members Present: Adamson (Zoom), Brown (Zoom), Connors, Naumann, Sechser, Baden, Webster

Presiding: Mayor Robert S. Gallagher

Mayor Gallagher opened the meeting with the Pledge of Allegiance followed with an Invocation given by Bettendorf Police Chaplain and Pastor of Hope Baptist Church, Pastor Mark Cannon

AWARD

Police Chief Keith Kimball awarded the Exceptional Service Award (Class I Award) to Officer Patrick Mesick for his life-saving actions in a very dangerous situation last fall. It is the highest award an Officer can receive. Officer Mesick received a standing ovation from Council and all in attendance.

PUBLIC REQUESTS OF COUNCIL

No one addressed the Council and the session was closed.

PUBLIC HEARING REGARDING AMENDING THE BETTENDORF INDUSTRIAL PARK/HIGHWAY 67 URBAN RENEWAL PLAN

Mayor Gallagher verified that the Notice of Public Hearing had been published and no written correspondence had been received on the matter. Economic Development Director Jeff Reiter gave an explanation of the resolution. Mayor Gallagher asked for any questions from Council. None presented. Mayor Gallagher then opened the Public Hearing. No one addressed the Council and the Public Hearing was closed.

RESOLUTION

Council Member Baden presented a resolution amending the Bettendorf Industrial Park/Highway 67 Urban Renewal Plan, and made a motion to approve the resolution as presented. Council Member Webster seconded the motion. Mayor Gallagher asked for any discussion from Council. None presented. Roll call vote indicated Connors (aye); Naumann (aye); Sechser (aye); Baden (aye); Webster (aye); Adamson (aye); and Brown (aye). The motion passed unanimously.

PUBLIC HEARING AND FIRST READING OF AN ORDINANCE REGARDING REZONING PROPERTY GENERALLY LOCATED NORTHWEST OF THE INTERSECTION OF TANGLEFOOT LANE AND TANGLEWOOD ROAD, A-1, AGRICULTURAL/URBAN RESERVE DISTRICT TO R-2, SINGLE-FAMILY RESIDENCE DISTRICT

Mayor Gallagher verified that the Notice of Public Hearing had been published and no written correspondence had been received on the matter. Community Development Director Mark Hunt gave an explanation of the ordinance. Mayor Gallagher asked for any questions from Council. None presented. Mayor Gallagher then opened the Public Hearing. Developer Dan Dolan thanked the Council for their support. No one else addressed the Council and the Public Hearing was closed.

ORDINANCE

Council Member Sechser presented the first reading of an ordinance rezoning property generally located northwest of the intersection of Tanglefoot Lane and Tanglewood Road, A-1, Agricultural/Urban Reserve District to R-2, Single Family Residence District, and made a motion to approve the ordinance at its first reading as presented. Council Member Webster seconded the motion. Mayor Gallagher asked for any discussion from Council. Council Member Webster thanked the Developer for holding neighborhood meetings to address any concerns. Roll call vote indicated Connors (aye); Naumann (aye); Sechser (aye); Baden (aye); Webster (aye); Adamson (aye); and Brown (aye). The motion passed unanimously.

PUBLIC HEARING AND FIRST READING OF AN ORDINANCE REGARDING REZONING PROPERTY GENERALLY LOCATED NORTHWEST OF THE INTERSECTION OF TANGLEFOOT LANE AND TANGLEWOOD ROAD, A-1, AGRICULTURAL/URBAN RESERVE DISTRICT TO R-3, MIXED RESIDENTIAL DISTRICT

Mayor Gallagher verified that the Notice of Public Hearing had been published and no written correspondence had been received on the matter. Community Development Director Mark Hunt gave an explanation of the ordinance. Mayor Gallagher asked for any questions from Council. None presented. Mayor Gallagher then opened the Public Hearing. No one addressed the Council and the Public Hearing was closed.

ORDINANCE

Council Member Baden presented the first reading of an ordinance rezoning property generally located northwest of the intersection of Tanglefoot Lane and Tanglewood Road, A-1, Agricultural/Urban Reserve District to R-3, Mixed Residential District, and made a motion to approve the ordinance at its first reading as presented. Council Member Connors seconded the motion. Mayor Gallagher asked for any discussion from Council. None presented. Roll call vote indicated Connors (aye); Naumann (aye); Sechser (aye); Baden (aye); Webster (aye); Adamson (aye); and Brown (aye). The motion passed unanimously.

ORDINANCE – FIRST READING AMENDING TITLE 2, CHAPTER 8 OF THE CITY CODE OF THE CITY OF BETTENDORF, IOWA BY DISSOLVING THE ELECTED PARK AND RECREATION BOARD AND REPLACING IT WITH AN APPOINTED ADVISORY BOARD

Council Member Naumann presented the first reading of an ordinance amending Title 2, Chapter 8 of the City Code of the City of Bettendorf, Iowa by dissolving the elected Park and Recreation Board and replacing it with an appointed Advisory Board, and made a motion to approve the ordinance at its first reading as presented. Council Member Baden seconded the motion. Mayor Gallagher asked for any discussion from Council. Council Member Adamson stated he has a conflict and would be abstaining from this vote and the following vote due to a relative of his being an elected Park Board Commissioner. Roll call vote indicated Connors (aye); Naumann (aye); Sechser (aye); Baden (aye); Webster (aye); Adamson (abstain); and Brown (aye). The motion passed 6-0-1.

ORDINANCE – FIRST READING AMENDING TITLE 2, CHAPTER 9; TITLE 7, CHAPTER 6; AND TITLE 3, CHAPTER 12C OF THE CITY CODE OF THE CITY OF BETTENDORF, IOWA RELATING TO PARKS AND RECREATION

Council Member Webster presented the first reading of an ordinance amending Title 2, Chapter 9, Title 7, Chapter 6; and Title 3, Chapter 12C of the City Code of the City of Bettendorf, Iowa, and made a motion to approve the ordinance at its first reading as presented. Council Member Naumann seconded the motion. Mayor Gallagher asked for any discussion from Council. None presented. Roll call vote indicated Connors (aye); Naumann (aye); Sechser (aye); Baden (aye); Webster (aye); Adamson (abstain); and Brown (aye). The motion passed 6-0-1.

ORDINANCE – FIRST READING ADJUSTING THE RATES FOR SANITARY SEWER UTILITY, STORM WATER UTILITY AND SOLID WASTE ENTERPRISES ACTIVITIES OF THE CITY

Council Member Sechser presented the first reading of an ordinance adjusting the rates for the Sanitary Sewer Utility, Storm Water Utility and Solid Waste Enterprises Activities of the City, and made a motion to approve the ordinance at its first reading as presented. Council Member Webster seconded the motion. Mayor Gallagher asked for any discussion from Council. None presented. Roll call vote indicated Connors (aye); Naumann (aye); Sechser (aye); Baden (aye); Webster (aye); Adamson (aye); and Brown (aye). The motion passed unanimously.

ORDINANCE – THIRD AND FINAL READING REGARDING THE REZONING OF PROPERTY GENERALLY LOCATED EAST OF 5805 MIDDLE ROAD AND WEST OF BUTTERFIELD COURT, A-1, AGRICULTURAL/URBAN RESERVE DISTRICT TO R-3, MIXED RESIDENTIAL DISTRICT (CASE 20-063)

Council Member Connors presented the third and final reading of an ordinance rezoning property generally located east of 5805 Middle Road and west of Butterfield Court, A-1, Agricultural/Urban Reserve District to R-3, Mixed Residential District, and made a motion to approve the ordinance at its final reading as presented. Council Member Naumann seconded the motion. Mayor Gallagher asked for any discussion from Council. None presented. Roll call vote indicated Connors (aye); Naumann (aye); Sechser (aye); Baden (aye); Webster (aye); Adamson (aye); and Brown (aye). The motion passed unanimously.

ORDINANCE – THIRD AND FINAL READING OF AN ORDINANCE REGARDING AMENDING TITLE 13, FLOOD CONTROL, CHAPTER 1 – FLOOD AREA MANAGEMENT (CASE 20-068)

Council Member Connors presented the third and final reading of an ordinance amending Title 13, Flood Control, Chapter 1 – Flood Area Management, and made a motion to approve the ordinance at its final reading as presented. Council Member Naumann seconded the motion. Mayor Gallagher asked for any discussion from Council. None presented. Roll call vote indicated Connors (aye); Naumann (aye); Sechser (aye); Baden (aye); Webster (aye); Adamson (aye); and Brown (aye). The motion passed unanimously.

CONSENT AGENDA

Mayor Gallagher asked for a motion to approve the Consent Agenda as presented. Council Member Webster made a motion approve the Consent Agenda as presented, and Council Member Sechser seconded the motion. Mayor Gallagher asked for any discussion from Council. None presented. Roll call vote indicated Connors (aye); Naumann (aye); Sechser (aye); Baden (aye); Webster (aye); Adamson (aye); and Brown (aye). The motion passed unanimously.

ADJOURNMENT

There being no further business, Council Member Baden made a motion to adjourn and Council Member Webster seconded the motion. The meeting was adjourned at approximately 7:25 p.m.

Mayor Robert S. Gallagher

Attest:

City Clerk Decker P. Ploehn

**CONSENT AGENDA
FEBRUARY 16, 2021**

**ALL ITEMS APPEARING BELOW ARE CONSIDERED ROUTINE BY THE CITY COUNCIL
AND SHALL BE ENACTED BY ONE MOTION. IF DISCUSSION IS DESIRED, THAT ITEM
SHALL BE REMOVED AND DISCUSSED SEPARATELY**

- A. Minutes from February 2, 2021 (Approve and Adopt)
- B. Resolution to Receive and File seven (7) individual petitions from seven (7) residents received between the dates of January 21, 2021 and February 1, 2021 in support of an elected Park Board. (Approve and Adopt)
- C. Resolution setting the public hearing date for the FY2021/22 proposed maximum property tax levy resolution. (Approve and Adopt)
- D. Resolution adopting the Health Plan proposal from Wellmark for Health Insurance Service and Stop Loss Protection, Dental Plan proposal from Delta Dental, and Vision Plan proposal from Employee Benefits Systems effective March 1, 2021 through February 28, 2022, and authorizing the Mayor and City Administrator to execute contracts for same. (Approve and Adopt)
- E. Resolution setting the date for a public hearing and directing the advertising for bids for the Pleasant Drive Reconstruction Project from Greenfield Road to Devils Glen Road. (Approve and Adopt)
- F. Resolution setting the date for a public hearing and directing the advertising for bids for the Asbury Street Reconstruction Project from Tanglefoot Lane to New Lexington Drive. (Approve and Adopt)
- G. Resolution setting the date for a public hearing and directing the advertising for bids for the Greenbrier Drive Reconstruction Project from Davenshire Drive to Tanglefoot Lane. (Approve and Adopt)
- H. Resolution setting the date for a public hearing on the FY2021 application for Federal Transit Administration Section 5307 and 5310 Coronavirus Response and Relief Supplemental Appropriations Act (CRRSAA) financial assistance. (Approve and Adopt)
- I. Resolution setting the date for a public hearing on the FY2021 application for Federal Transit Administration Section 5339 financial assistance. (Approve and Adopt)
- J. Resolution setting the date for a public hearing on the FY2021 application for Federal Transit Administration Section 5310 financial assistance. (Approve and Adopt)
- K. Resolution approving the final plat of Arrowhead Crossing (replat of Lots 9-10 and 21-22 of Devil Glen Acres), submitted by Quad City Enterprises LLC/Dan Gunsteen (Case 21-003). (Approve and Adopt)
- L. Resolution approving the site development plan for 3011 Devils Glen Road and 3050 Middle Drive, submitted by Dan Gunsteen (Case 20-062). (Approve and Adopt)
- M. Resolution approving liquor license renewals for Dollar General Stores #1797 and #10776; Rudy's Tacos; and Oscar's Pub; and a new liquor license for The Q. (Approve and Adopt)
- N. Bills (Approve payment and direct City Clerk to issue checks in respective amounts)



MEETING DATE: March 2, 2021
REQUESTED BY: Decker Ploehn

COUNCIL LETTER

VISION:

THE CITY OF BETTENDORF IS A PREMIER PLACE IN WHICH TO LIVE. THE CITY OF BETTENDORF IS THE MOST LIVABLE COMMUNITY FOR FAMILIES WITH RICH EDUCATIONAL, CULTURAL, AND RECREATIONAL OPPORTUNITIES WHERE WE ENJOY A VIBRANT RIVERFRONT AND A GROWING COMPETITIVE BUSINESS ENVIRONMENT. WE TAKE PRIDE IN OUR GREAT COMMUNITY.

ITEM TITLE:

RESOLUTION TO RECEIVE AND FILE AN EMAIL AND TWO PETITIONS FROM SEVERAL RESIDENTS IN SUPPORT OF AN ELECTED PARK BOARD

EXPLANATION (Background & How it Responds to Vision, Mission or Goals):

A public hearing to receive public comment on the City of Bettendorf's intent to discontinue the elected Park and Recreation Board and establish an appointed Park and Recreation Board was held on January 5, 2021. Since that time, the City Clerk has received an email and two petitions signed by several residents in support of an elected Park Board. This action is to acknowledge receipt and file to record.

ATTACHMENTS:

- **Resolution**
- **Email received from Resident**
- **Petitions from Residents**

RESOLUTION _____ - 21

**RESOLUTION TO RECEIVE AND FILE AN EMAIL AND TWO PETITIONS
FROM SEVERAL RESIDENTS IN SUPPORT OF AN ELECTED PARK BOARD**

WHEREAS, the City of Bettendorf has received an email and two petitions signed by several residents in support an elected Park Board; and

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA, that the City has officially received and filed the email and petitions to record.

PASSED, APPROVED AND ADOPTED this 2nd day of March, 2021.

Robert S. Gallagher, Mayor

ATTEST:

Decker P. Ploehn, City Clerk

Spencer, Michelle

From: Sechser, Jerry
Sent: Tuesday, February 16, 2021 8:07 PM
To: Ploehn, Decker
Cc: Spencer, Michelle
Subject: Fw: Park Board

Jerry Sechser
1st Ward Alderman
City of Bettendorf

From: Maria Bribriesco <maria4iowa@gmail.com>
Sent: Monday, January 11, 2021 5:39 PM
To: Sechser, Jerry
Cc: Wellsdon554@peoplepc.com
Subject: Park Board

-
Hi Jerry,

I believe that the citizens of Bettendorf would be better served if the Park Board remained an elected one. The Park Board has done a great job primarily because they have one very specific mission (providing recreational opportunities to enrich the quality of life for all) and they are independent from the political pressures placed on City Hall.

Please speak up for keeping the Park Board as an elected body. Alternatively, take action which will provide all citizens to vote on this question; put this question on the ballot of the next city election.

Thank you,
Maria Bribriesco
2114 Nicholas Court, Bettendorf
563-605-5711

Keep the Bettendorf Park Board Elected

We the citizens of the City of Bettendorf Iowa reject the idea of a APPOINTED Advisory Board of Commissioners in the City of Bettendorf Iowa. WE request that the City Council of Bettendorf Iowa vote to Continue the Bettendorf Park Board of Commissioners as an Elected body. WE want our voices to be heard through our elected officials.

RECEIVED

FEB 22 2021

CITY CLERK'S OFFICE
CITY OF BETTENDORF

Signatures

- Mary Gabel Bettendorf, Iowa United States
- TJ Lyons Bettendorf, Iowa United States
- Denny Benes Bettendorf, Iowa United States
- Maria Bribriesco Bettendorf, Iowa United States
- Kathy Conine Bettendorf, Iowa United States
- Angel Carr Bettendorf, Iowa United States
- Sara Bettendorf, Iowa United States
- Tami Peck Bettendorf, Iowa United States
- Peggy Wells Bettendorf, Iowa United States
- Patrick Ryan Bettendorf, Iowa United States
- Kirk Denison Bettendorf, Iowa United States
- Katlynn Ryden Bettendorf, Iowa United States
- Patricia Turner Bettendorf, Iowa United States
- Tara Howland Bettendorf, Iowa United States
- Madison Wells Bettendorf, Iowa United States
- Roger Kundert Bettendorf, Iowa United States
- Patricia Ramm Bettendorf, Iowa United States
- Tammy Hornbuckle Bettendorf, Iowa United States
- Starla Ramm Bettendorf, Iowa United States
- Tracie Cato Bettendorf, Iowa United States

Comments

- **Mary Gabel**

Jan 15, 2021

This board should be elected by citizens not “selected” by city government!

- **TJ Lyons**

Jan 15, 2021

Not worth the risk of losing the quality of Bettendorf parks. Monthly meetings needed.

- **Denny Benes**

Jan 13, 2021

Sounds like someone wants to have total control over a body that has worked just fine for many years.

- **Sara**

Jan 11, 2021

Great guy!

- **Patrick Ryan**

Jan 07, 2021

I have lived in Bettendorf for 55 years and always been enjoying all the parkboard has done to insure the quality we have. I worked for park board and understand their need. 35,000 dollars for 5 people to assure our quality. Do not change what has worked forever.

- **Kirk Denison**

Jan 07, 2021

Park board needs to stay

- **Tammy Hornbuckle**

Jan 07, 2021

We WANT to have a voice in our Park's...Keep them elected

- **Tracie Cato**

Jan 07, 2021

Keep the park board elect

Keep the Bettendorf Park Board Elected!

To: The Mayor of Bettendorf, and the Bettendorf City Council,
1609 State Street
Bettendorf, Iowa 52722

RECEIVED

FEB 26 2021

CITY CLERK'S OFFICE
CITY OF BETTENDORF

I A CITIZEN OF THE CITY OF BETTENDORF, IOWA REJECT THE PROPOSAL TO CREATE AN APPOINTED ADVISORY BOARD OF COMMISSIONERS. I REQUEST THAT THE BETTENDORF CITY COUNCIL VOTE TO CONTINUE THE BETTENDORF PARK BOARD OF COMMISSIONERS AS AN ELECTED BODY. I WANT MY VOICE, AND IDEAS TO BE HEARD THROUGH OUR ELECTED OFFICIALS.

Signed:

Terry Otero

Name:

Terry Lynn Otero

Address:

5555 Valley Dr Apt 2

Bettendorf, Iowa 52722

Phone Number:

563-639-5073

Email Address:

terry.oter@yaho.com



MEETING DATE: March 2, 2021
REQUESTED BY: Schadt

COUNCIL LETTER

VISION:

THE CITY OF BETTENDORF IS A PREMIER PLACE IN WHICH TO LIVE. THE CITY OF BETTENDORF IS THE MOST LIVABLE COMMUNITY FOR FAMILIES WITH RICH EDUCATIONAL, CULTURAL, AND RECREATIONAL OPPORTUNITIES WHERE WE ENJOY A VIBRANT RIVERFRONT AND A GROWING COMPETITIVE BUSINESS ENVIRONMENT. WE TAKE PRIDE IN OUR GREAT COMMUNITY.

ITEM TITLE: (Please use same title as it will appear on your resolution.)

Resolution setting the public hearing date for the Adoption of the FY 2021/22 Budget and Certification of Taxes.

Explanation (Background & How it Responds to Vision, Mission or Goals)

The attached resolution sets the public hearing date for the Adoption of the FY 2021/22 Budget and Certification of Taxes on Tuesday, March 16, 2021 at 7:00 pm, in the Council Chambers at 1609 State Street, Bettendorf, Iowa.

Prior to adopting the budget, a public information meeting was held at Bettendorf City Hall, on February 25, 2021 at 6:00 pm.

List Attachments:

- Resolution

RESOLUTION NO. _____ - 21

Resolution setting the Public Hearing Date for the Adoption of the Fiscal Year 2021/22 Budget and Certification of Taxes

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA:

That a public hearing shall be held to receive public comment on the Fiscal Year 2021/22 Budget. The public hearing will be held in the City Hall Council Chambers, 1609 State Street, Bettendorf, Iowa, on Tuesday, March 16, 2021 at 7:00 pm, and the City Clerk is directed to publish notice of such public hearings.

PASSED, APPROVED, AND ADOPTED this 2nd day of March, 2021.

Mayor, Robert S. Gallagher

Attest:

City Clerk, Decker P. Ploehn



COUNCIL LETTER

MEETING DATE: March 1 & 2, 2021

REQUESTED BY: Mark Hunt

ITEM TITLE: Resolution approving the preliminary plat of The Meadows, submitted by Windmill Development, LLC. (Case 21-009)

Explanation (Background and How it Responds to Vision, Mission, or Goals)

Windmill Development, LLC has submitted the preliminary plat of The Meadows (east of 5805 Middle Road and west of Butterfield Court) (see Aerial Photo - Attachment A). The third reading of the ordinance rezoning the property from A-1 Agricultural/Urban Reserve District to R-3, Mixed Residential District was held February 16, 2021. The developer is proposing a 55-unit development consisting of 3- and 4-unit townhouse buildings (see Preliminary Plat, Attachment B).

Enhances the Vision: The platting will permit construction of townhouse-style dwelling units. This housing option supports the concept that "The City of Bettendorf is the most livable community for families."

The Planning and Zoning Commission voted by a 7-0 margin to recommend approval of the preliminary plat at its February 17 meeting.

If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:

N/A

List Attachments:

Resolution; (A) Aerial Photo; (B) Preliminary Plat; (C) Staff report to the Planning and Zoning Commission; (D) Planning and Zoning Commission report to the Mayor and City Council; (E) Excerpts from the Planning and Zoning Commission meeting minutes regarding this matter.

RESOLUTION NO. _____ - 21

**RESOLUTION APPROVING THE PRELIMINARY PLAT OF
THE MEADOWS**

WHEREAS, Windmill Development, LLC has submitted the preliminary plat of The Meadows, and

WHEREAS, the Planning and Zoning Commission has reviewed said preliminary plat and recommended approval of it subject to conditions presented below, and

WHEREAS, the City Council concurs with the Planning and Zoning Commission's recommendation.

NOW, THEREFORE, BE IT RESOLVED, that the City Council approves the preliminary plat of The Meadows, subject to the following conditions:

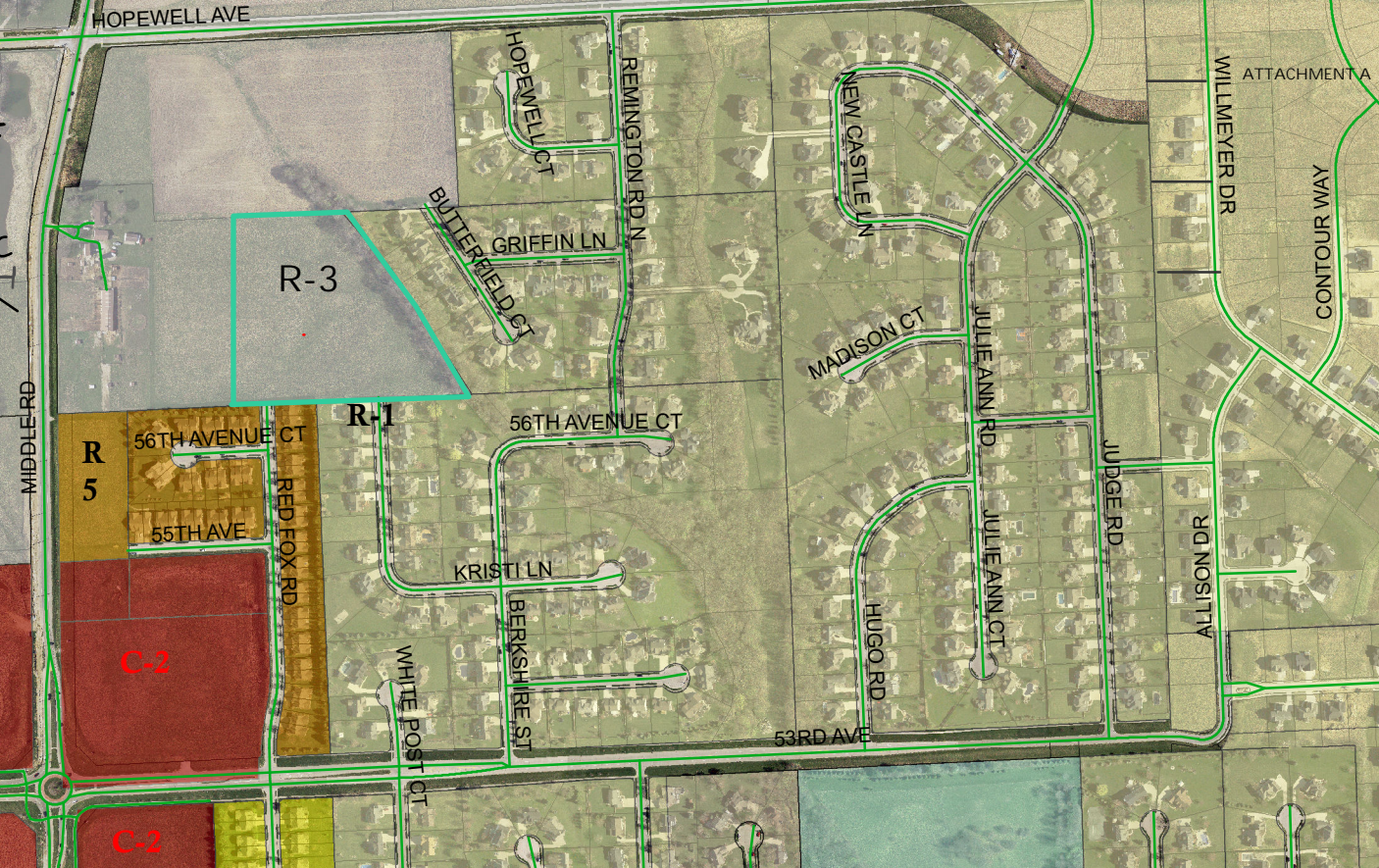
1. Approval of the preliminary plat does not waive any applicable city, state, or federal provisions as required by law.
2. The developer will be responsible for arranging utility connections through adjoining properties.
3. Approval of a final plat and site development plan are required for City Council and Planning and Zoning Commission consideration.
3. Compliance with the requirements of the Bettendorf Fire Department is conditioned prior to the approval of the final plat and site development plan by the City Council.
4. Staff is requiring the 50-foot buffer yard, but the developer may grade into that area if it has previously been disturbed to re-establish a native buffer per the City Engineer.

PASSED, APPROVED, AND ADOPTED this 2nd day of March, 2021.

Robert S. Gallagher, Mayor

ATTEST:

Decker P. Ploehn, City Clerk



HOPEWELL AVE

MIDDLE RD

HOPEWELL CT

REMINGTON RD N

BUTTERFIELD CT

GRIFFIN LN

R-3

R-5

56TH AVENUE CT

R-1

56TH AVENUE CT

55TH AVE

RED FOX RD

KRISTILN

WHITE POST CT

BERKSHIRE ST

JULIE ANN RD

JULIE ANN CT

HUGO RD

MADISON CT

NEW CASTLE LN

53RD AVE

JUDGE RD

DR NOSITTA

WILLMEYER DR

CONTOUR WAY

ATTACHMENT A

C-2

C-2

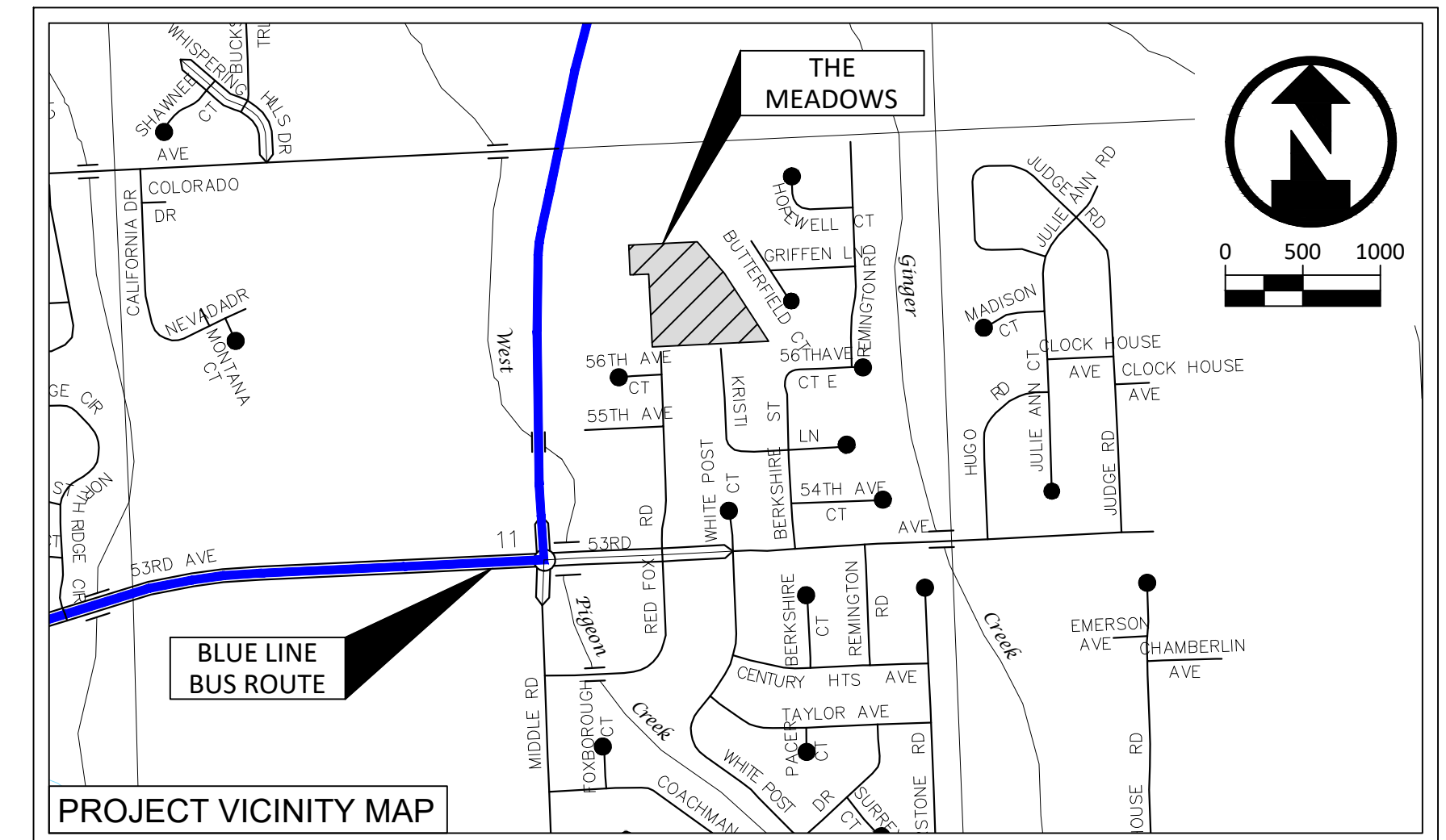
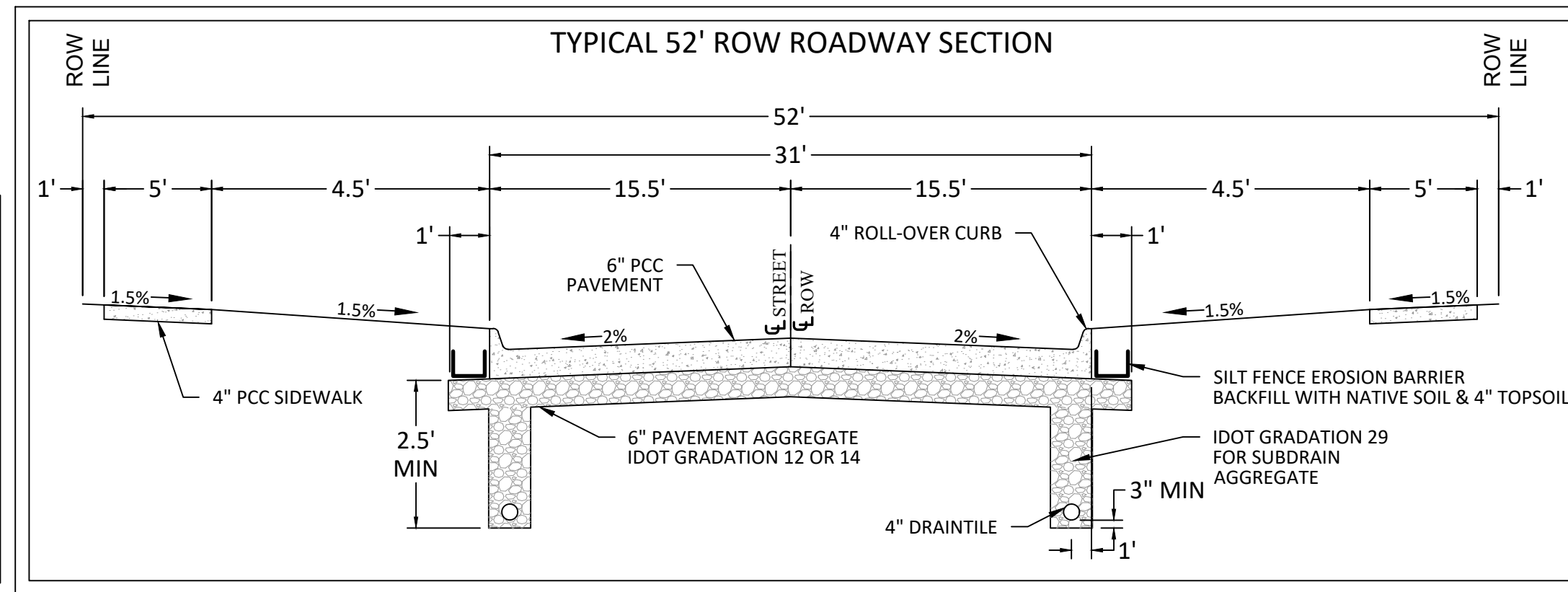
PRELIMINARY PLAT THE MEADOWS IN THE CITY OF BETTENDORF, SCOTT COUNTY, IOWA

LEGAL DESCRIPTION:

PART OF THE NORTH HALF OF THE NORTHEAST (NE 1/4) OF SECTION 11, TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE 5TH P.M., CITY OF BETTENDORF, SCOTT COUNTY, IOWA DESCRIBED AS;

BEGINNING AT THE NORTHWEST CORNER OF CENTURY HEIGHTS TWELFTH ADDITION AS RECORDED IN BOOK 2002, PAGE 7869; THENCE N87°15'12"E, 550.70 FEET TO THE WEST LINE OF FIELDSTONE POINT FIRST ADDITION AS RECORDED IN BOOK 2003, PAGE 11153 OF THE SCOTT COUNTY RECORDS; THENCE ALONG SAID WEST LINE N32°58'06"W, 523.52 FEET; THENCE ALONG SAID WEST LINE N40°54'53"W, 267.18 FEET TO THE SOUTH LINE OF HOPEWELL FARM FIRST ADDITION AS RECORDED IN BOOK 2003, PAGE 64452 OF THE SCOTT COUNTY RECORDS; THENCE ALONG SAID SOUTH LINE S87°16'19"W, 444.02 FEET; THENCE S02°45'33"E, 662.60 FEET TO THE NORTH LINE OF CENTURY HEIGHTS THIRTEENTH ADDITION AS RECORDED IN BOOK 2001, PAGE 37716; THENCE ALONG SAID NORTH LINE N87°14'19"E, 321.79 FEET TO THE POINT OF BEGINNING.

DESCRIBED AREA CONTAINS 10.22 ACRES AND IS SUBJECT TO EASEMENTS AND OTHER RESTRICTIONS OF RECORD.



GENERAL NOTES:

- ALL IMPROVEMENTS ARE TO BE INSTALLED IN ACCORDANCE WITH THE LATEST CITY OF BETTENDORF STANDARD SPECIFICATIONS AND DETAIL DRAWINGS.
- THIS PRELIMINARY PLAT INCLUDES APPROXIMATELY 10.22 ACRES.
- THE PROPOSED ZONING FOR THE LOTS SHOWN ON THE SITE IS R-3.
REQUIRED SETBACKS ARE:
FRONT SIDE REAR
25' 5'/10' 25'
- EASEMENTS FOR PLANNING PURPOSES. SUBJECT TO CHANGE WITH SITE DESIGN. TO BE INCORPORATED INTO FINAL PLAT OR EASEMENT EXHIBITS.
- ALL PROPOSED WATERMAIN IS TO BE 8".
- ALL PROPOSED SANITARY SEWER IS TO BE 8".
- GRADING TO BE ALLOWED IN 50 FOOT BUFFER WHERE GROUND HAS BEEN PREVIOUSLY DISTURBED. NATIVE BUFFER TO BE REESTABLISHED AT CONCLUSION OF CONSTRUCTION.
- THE INTENDED USE OF THE OUTLOT AND LETTERED LOTS WITHIN THE PLAT ARE AS FOLLOWS:

OUTLOT	INTENDED USE	RESPONSIBLE PARTY
OUTLOT A-P	FLOODPLAIN/DRAINAGE EASEMENT	LOT OWNER
OUTLOT Q	STORMWATER MANAGEMENT	HOMEOWNER'S ASSOCIATION
ROW A	RIGHT-OF-WAY DEDICATION	CITY OF BETTENDORF

KEY NOTES:

- (A) 15' WATER MAIN AND PUBLIC UTILITY EASEMENT
- (B) 15' SANITARY SEWER AND PUBLIC UTILITY EASEMENT
- (C) 25' BUILDING FRONT AND REAR SETBACK
- (D) 5' BUILDING SIDE SETBACK (TYP)
- (E) 10' BUILDING SIDE SETBACK (TYP)
- (F) 144' x 58.67' 4-PLEX UNIT (TYP)
- (G) 108' x 58.67' 3-PLEX UNIT (TYP)
- (H) 16' WIDE DRIVEWAY (TYP)
- (I) 20' STORM SEWER AND DRAINAGE EASEMENT
- (J) 20' SANITARY SEWER EASEMENT
- (K) 20' DRAINAGE EASEMENT
- (L) 25' DRAINAGE EASEMENT
- (M) SANITARY SEWER EASEMENT
- (N) 50' BUFFER FROM TOP OF BANK

PREPARED BY:

AXIOM CONSULTANTS, LLC
60 E. COURT STREET, UNIT 3
IOWA CITY, IOWA 52240

APPLICANT:

WINDMILLER DEVELOPMENT, LLC
P.O. BOX 809
BETTENDORF, IA 52722

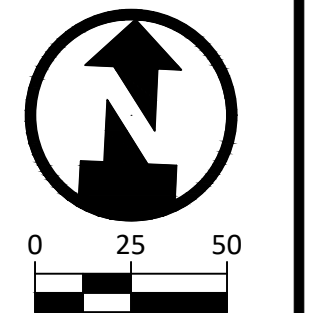
OWNER:

KAREN M SARTAIN
5805 MIDDLE ROAD
BETTENDORF, IA 52722

LEGEND:

UTILITIES	EXISTING	PROPOSED
COMMUNICATIONS OVERHEAD LINE	---	---
ELECTRIC	---	---
FIBER OPTIC	---	---
GAS	---	---
SANITARY SEWER	---	---
STORM	---	---
SUBDRAIN	---	---
WATER: DOMESTIC	---	---
COMMUNICATIONS HANDHOLE	⊠	⊠
COMMUNICATIONS PEDESTAL	⊡	⊡
COMMUNICATIONS MANHOLE	⊙	⊙
GUY WIRE ANCHOR	⊙	⊙
UTILITY POLE	⊙	⊙
UTILITY POLE WITH LIGHT	⊙	⊙
LIGHT POLE	⊙	⊙
ELECTRIC MANHOLE	⊙	⊙
ELECTRIC TRANSFORMER	⊙	⊙
SANITARY SEWER MANHOLE	⊙	⊙
SANITARY SEWER CLEANOUT	⊙	⊙
STORM SEWER MANHOLE	⊙	⊙
STORM SEWER INTAKE	⊙	⊙
HYDRANT	⊙	⊙
WATER VALVE	⊙	⊙
CURB STOP	⊙	⊙
SITE	EXISTING	PROPOSED
CONTOUR - INDEX	100	100
CONTOUR - INTERMEDIATE	101	101
FENCE: BARB WIRE	---	---
FENCE: WOOD	---	---
SHRUBBERY	⊙	⊙
TREE: DECIDUOUS	⊙	⊙
TREE: CONIFEROUS	⊙	⊙
SIGN	⊙	⊙

ENGINEER:
AXIOM CONSULTANTS
WWW.AXIOM-CON.COM | (319) 519-6220



REV	DESCRIPTION OF CHANGES	DATE
A <td>SUBMITTAL TO CITY <td>01-26-2021</td> </td>	SUBMITTAL TO CITY <td>01-26-2021</td>	01-26-2021
B <td>SUBMITTAL TO CITY <td>02-09-2021</td> </td>	SUBMITTAL TO CITY <td>02-09-2021</td>	02-09-2021
C <td>SUBMITTAL TO CITY <td>02-23-2021</td> </td>	SUBMITTAL TO CITY <td>02-23-2021</td>	02-23-2021

PROJECT NAME:
**THE MEADOWS
BETTENDORF, IOWA**

SHEET NAME:
PRELIMINARY PLAT

DESIGN PROFESSIONAL:
BOELK

PROJECT NO.:
20-0055

SHEET NUMBER:
1 OF 1



COMMUNITY DEVELOPMENT

City Hall Annex λ 4403 Devils Glen Road, Bettendorf, Iowa 52722 λ (563) 344-4071

February 17, 2021

Staff Report

Case No. 21-009

Request: The Meadows - Preliminary Plat

Location: East of 5805 Middle Road and west of Butterfield Court

Proposed Zoning Classification: R-3, Mixed Residential District

Current Land Use Designation: Urban Medium Intensity

Background Information and Facts

Windmill Development, LLC has submitted the preliminary plat of The Meadows (east of 5805 Middle Road and west of Butterfield Court) (see Aerial Photo - Attachment A). The third reading of the ordinance rezoning the property from A-1 Agricultural/Urban Reserve District to R-3, Mixed Residential District is scheduled for February 16, 2021. The developer is proposing a 55-unit development consisting of 3- and 4-unit townhouse buildings (see Preliminary Plat, Attachment B).

Land Use

The land use designation for the site is Urban Medium Intensity (UMI). The proposed R-3, Mixed Residential District is permitted in the UMI land use designation.

Utilities

Utilities are available from Century Heights Twelfth and Thirteenth Additions. Water service, sanitary sewer, and electrical service will originate from the two subdivisions to the south. It is the responsibility of the property owner to connect to all utilities.

Thoroughfare Plan/Access

Red Fox Road, which connects to 53rd Avenue, will extend north into the site; Kristi Lane will extend north and curve to the west through the site intersecting with the extended Red Fox Road.

Storm Water Detention

Storm water detention will be required for the site. The storm water will be piped Outlot Q near the center of the development.

Recommended Action

Staff recommends the Planning and Zoning Commission support approval of the preliminary plat subject to the following conditions:

1. Approval of the preliminary plat does not waive any applicable city, state, or federal provisions as required by law.
2. The developer will be responsible for arranging utility connections through adjoining properties.
3. Approval of a final plat and site development plan are required for City Council and Planning and Zoning Commission consideration.
3. Compliance with the requirements of the Bettendorf Fire Department is required prior to the approval of the final plat and site development plan by the City Council.
4. Staff is requiring the 50-foot buffer yard, but the developer may grade into that area if it has previously been disturbed to re-establish a native buffer per the City Engineer.

Respectfully submitted,

Greg Beck
City Planner

February 24, 2021

Honorable Mayor and
Members of the City Council
City of Bettendorf
Bettendorf, Iowa 52722

SUBJECT: Planning and Zoning Commission's decision on the preliminary plat of The Meadows, submitted by Windmill Development, LLC. (Case 21-009)

Honorable Mayor and Members of the City Council:

On February 17, 2021, the Planning and Zoning Commission reviewed and recommended that your Honorable Body approve the above named preliminary plat request.

If you have any questions concerning this matter, please do not hesitate to contact this office.

Sincerely,

Mark D. Hunt
Director, Community Development

5. Case 21-009; The Meadows, submitted by Windmill Development, LLC.

Beck reviewed the staff report.

Wennlund asked for clarification of the condition related to Fire Department requirements. Hunt stated he believes the condition is related to the hammerhead turnaround that will be required at the terminus of Kristi Lane, adding that there may be other Fire Department requirements. Said explained that a turnaround is required if the distance from a street is more than 150 feet, adding that fire hydrant locations would be discussed at a later date. Wennlund asked if the hammerhead would be on the applicant's property or on the property to the west. Said explained that it will depend on the length of that street segment. Wennlund asked if the adjacent property is under the developer's control. Morlok stated that it is not, adding that if the developer plats the property all the way to the property line, he will be required to obtain an easement for a turnaround on the adjacent property. He indicated that the developer could choose to reduce the length of the extension of Kristi Lane so that the turnaround can be located entirely within the subdivision.

Reed Windmill, the developer, commented that the street extension is less than 150 feet. Brian Boelk, the developer's engineering, confirmed this. Morlok explained that the requirement for the turnaround is not just for the Fire Department, but is also required by the Public Works Department to facilitate snow removal and trash collection services. He added that because there is more than one lot requiring city services, the turnaround will be required.

Wennlund asked for clarification of the note in the staff report regarding grading into the required 50-foot buffer. Morlok explained that the storm water ordinance requires a 50-foot buffer for medium- and high-density residential which is measured from the top of bank adjacent to natural streams that cannot be disturbed if a natural buffer exists. He commented that the proposed project is considered to be medium-density. He stated that farming operations took place up to the top of that bank. Morlok added that allowing the developer to grade into that area for the lots will preclude the need for retaining walls and that it will help the native buffer to be re-established.

Hunt stated that the third reading of the ordinance rezoning the property in question took place on February 16. He added that as a result of the concerns expressed at multiple neighborhood meetings, the developer has increased the size of the buffers at Kristi Lane and Red Fox Road.

Glenn Dugan, 5736 Butterfield Court, asked for clarification of where the required 50-foot buffer is measured from. Morlok explained that the buffer is a meandering line which is

measured 50 feet from the top of the bank. Dugan asked if no building would be allowed within the buffer. Morlok confirmed this, adding that once the grading is complete and the developer has planted native grasses, the buffer area cannot be disturbed again.

Eric Drobny, 5649 Red Fox Road, asked for clarification of the location of the hammerhead. Morlok explained that it is not shown on the plat but that it will be located at the end of the west extension of Kristi Lane and would be a temporary gravel turnaround for emergency services and Public Works vehicles. He added that it would be there until such time as another subdivision is platted and the street is extended. Drobny asked if it would be located on the developer's property or the adjacent one. Morlok stated that it could be in either location.

Drobny asked if the required buffer would be located at the southeast corner of the subdivision. Morlok stated that it would extend the length of the easternmost subdivision boundary adjacent to the creek. Morlok repeated the description of the buffer area.

Drobny asked how the proposed hammerhead will affect the development's schedule. Morlok explained that the hammerhead is a construction-related issue that will be resolved prior to the final plat's being submitted to the Commission on March 17.

On motion by Gannaway, seconded by Adam, that the preliminary plat of The Meadows be recommended for approval subject to staff recommendations.

ALL AYES

Motion carried.



MEETING DATE: March 2, 2021

COUNCIL LETTER

REQUESTED BY: Mark Hunt

ITEM TITLE: Resolution approving the final plat of Southfield Park 2nd Addition (replat of Lots 5 and 6, Southfield Park Addition), submitted by Brad Bagby. (Case 21-006)

Explanation (Background and How it Responds to Vision, Mission, or Goals)

Brad Bagby has submitted the final plat of Southfield Park 2nd Addition (replat of Lots 5 and 6 of Southfield Park Addition) (see Aerial Photo and Final Plat - Attachment A and Attachment B). The boundaries of Lots 5 and 6 of Southfield Park Addition are being changed to incorporate a different design (see Final Plat - Attachment C.)

Enhances the Vision: "The City of Bettendorf is the most livable community for families" is reflected in the increased availability of lots for single-family housing.

The Planning and Zoning Commission made a recommendation for approval of the final plat by a 7-0 margin at its February 17 meeting.

Consult the Planning and Zoning Commission staff report for further details.

If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:

N/A

List Attachments:

Resolution; (A) Aerial Photo; (B) Final Plat; (C) Final Plat; (D) Staff report to the Planning and Zoning Commission; (E) Planning and Zoning Commission report to the Mayor and City Council; (F) Excerpts from the Planning and Zoning Commission meeting minutes regarding this matter.

RESOLUTION NO. _____ - 21

**RESOLUTION APPROVING THE FINAL PLAT OF
SOUTHFIELD PARK 2ND ADDITION
(REPLAT OF LOTS 5 AND 6, SOUTHFIELD PARK ADDITION)**

WHEREAS, Brad Bagby has submitted the final plat of Southfield Park 2nd Addition (replat of Lots 5 and 6, Southfield Park Addition) generally located east of Duck Creek, west of 44th Street, and South of Devils Glen Park, and

WHEREAS, the Planning and Zoning Commission has reviewed said final plat and recommended approval of it subject to conditions presented below, and

WHEREAS, the City Council concurs with the Planning and Zoning Commission's recommendation.

NOW, THEREFORE BE IT RESOLVED, that the City Council approves the final plat of Southfield Park 2nd Addition subject to the following condition:

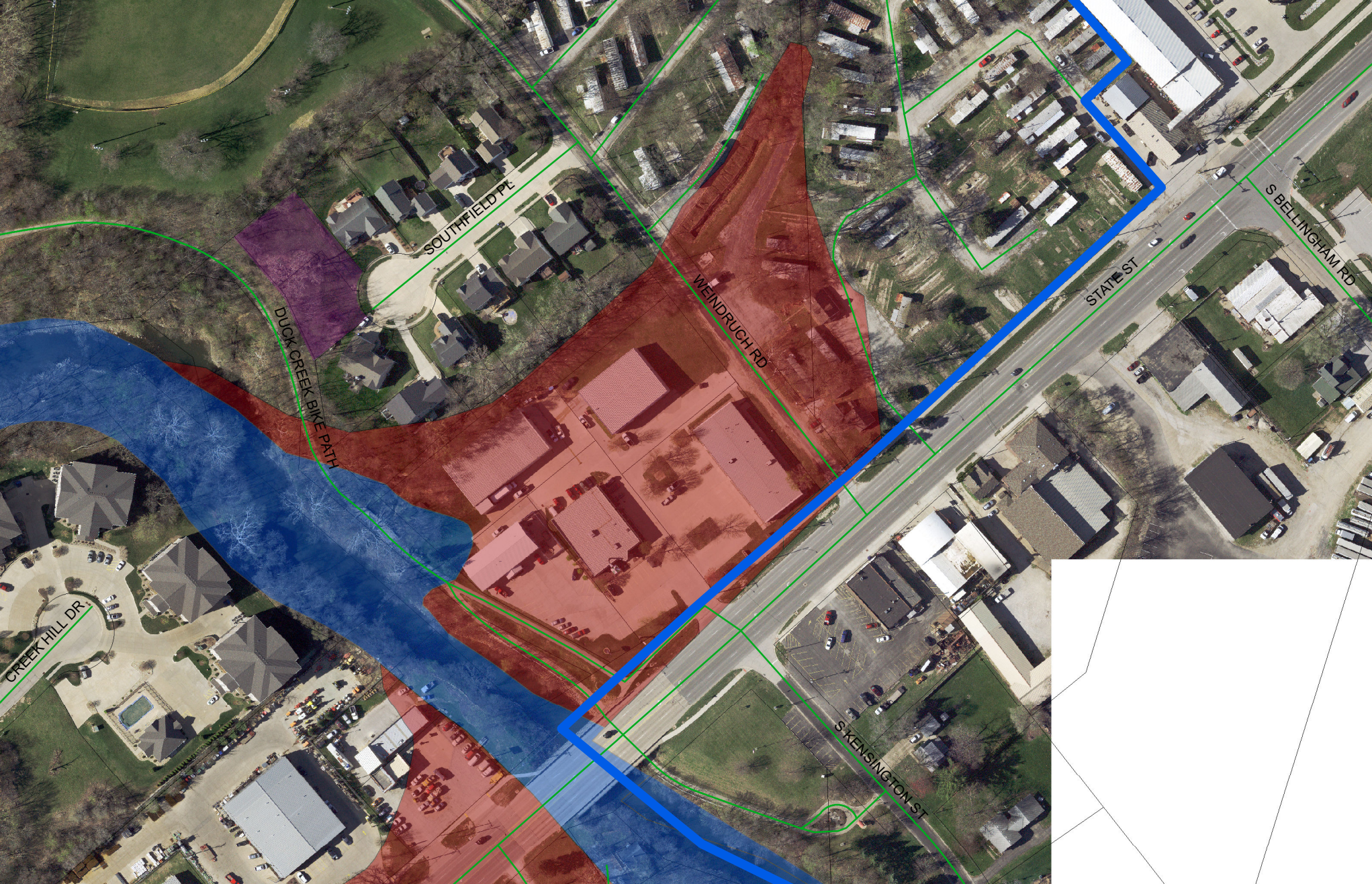
1. Approval of the final plat does not waive any applicable local, state, or federal provisions as required by law.

PASSED, APPROVED, AND ADOPTED THIS 2nd day of March, 2021.

Robert S. Gallagher, Mayor

ATTEST:

Decker P. Ploehn, City Clerk



SOUTHFIELD PL

DUCK CREEK BIKE PATH

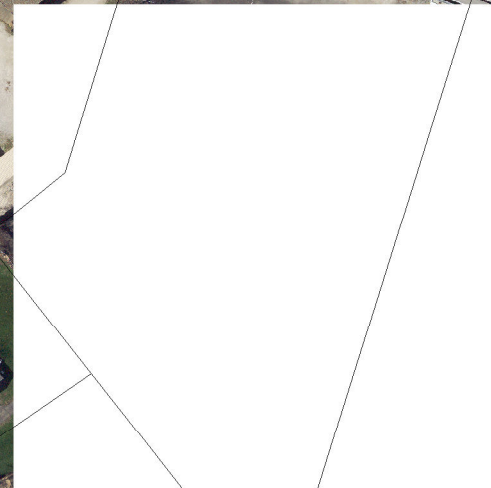
WEINDRUCH RD

STATE ST

S BELLINGHAM RD

S KENSINGTON ST

CREEK HILL DR



INDEX LEGEND

LOCATION: LOT 5 AND LOT 6 OF SOUTHFIELD PARK ADDITION

REQUESTOR: B M BAGBY

PROPRIETOR: B M BAGBY, INC.

SURVEYOR: DAN J. KUEHL

SURVEYOR COMPANY: XCEL CONSULTANTS, INC.
8300 42nd STREET WEST
ROCK ISLAND, IL 61201

RETURN TO: XCEL@XCELCONSULTANTSINC.COM
(309) 787-9988

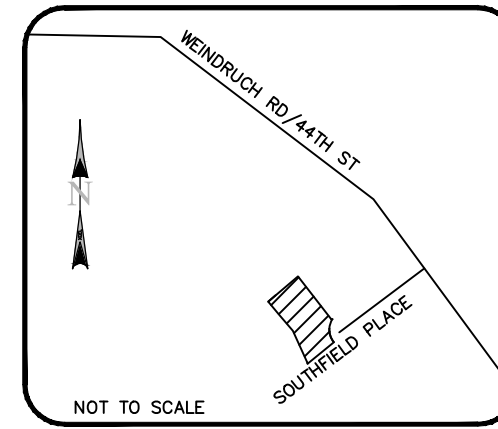
SOUTHFIELD PARK 2ND ADDITION

BEING A REPLAT OF LOT 5 AND LOT 6 OF SOUTHFIELD PARK ADDITION TO THE CITY OF BETTENDORF, SCOTT COUNTY, IOWA

LEGAL DESCRIPTION

LOT 5 AND 6 OF SOUTHFIELD PARK ADDITION, CITY OF BETTENDORF, SCOTT COUNTY, IOWA PER SUBDIVISION PLAT DOCUMENT NUMBER 2003-53235, MORE PARTICULARLY DESCRIBED AS; BEGINNING AT THE MOST WESTERLY CORNER OF SAID LOT 5; THENCE N52°38'52"E, ALONG THE NORTHWESTERLY LINE OF LOT 5, 101.54 FEET TO THE MOST NORTHERLY CORNER OF SAID LOT 5; THENCE S35°15'00"E, ALONG THE NORTHEASTERLY LINE OF SAID LOT 5, 141.24 FEET; THENCE S84°01'12"E, 3.49 FEET TO THE MOST EASTERLY CORNER OF SAID LOT 5; THENCE ALONG THE RIGHT OF WAY OF SOUTHFIELD PLACE, BEING THE ARC OF A CURVE, CONCAVE EASTERLY, HAVING A RADIUS OF 51.00 FEET, AN ARC LENGTH OF 64.01 FEET TO THE MOST EASTERLY CORNER OF SAID LOT 6; THENCE S53°25'01"W, ALONG THE SOUTHEASTERLY LINE OF SAID LOT 6, 88.61 FEET TO THE MOST SOUTHERLY CORNER OF SAID LOT 6; THENCE N06°12'47"W, ALONG THE WEST LINE OF SAID LOT 6, 3.43 FEET; THENCE N21°44'35"W, ALONG THE SAID WEST LINE OF LOT 6, 90.76 FEET; THENCE N37°43'56"W, ALONG THE SAID WEST LINE OF LOT 6, 100.00 FEET TO THE POINT OF BEGINNING. CONTAINING 0.43 ACRES.

VICINITY MAP



RECORDER INFORMATION

CITY OF BETTENDORF

BY: _____

DATE: _____

ATTEST: _____

PLANNING & ZONING COMMISSION

BY: _____

DATE: _____

METRONET

BY: _____

DATE: _____

MID-AMERICAN ENERGY

BY: _____

DATE: _____

IOWA AMERICAN WATER

BY: _____

DATE: _____

CENTURYLINK

BY: _____

DATE: _____

MEDIACOM COMMUNICATIONS

BY: _____

DATE: _____

SITE INFORMATION

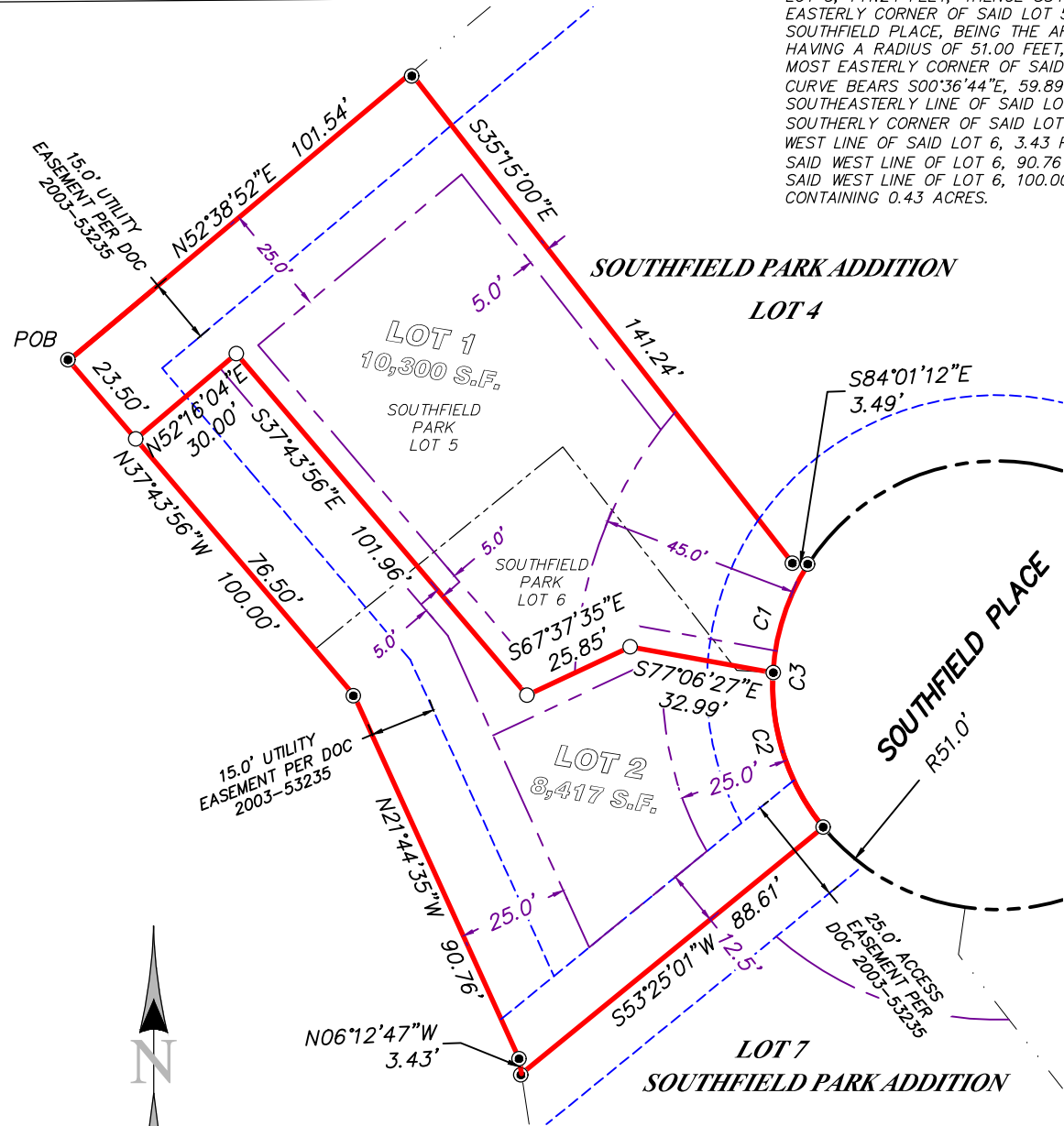
PREPARED FOR: B M BAGBY
ADDRESS: 4354 SOUTHFIELD PLACE,
BETTENDORF, IA 52722

OWNER/DEVELOPER INFORMATION

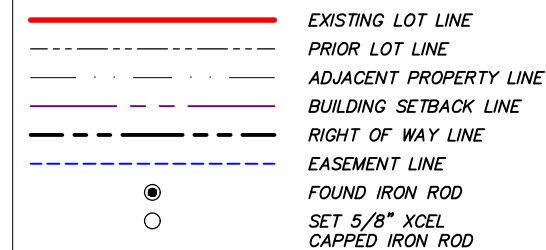
B M BAGBY
4354 SOUTHFIELD PLACE BETTENDORF, IA 52722

NOTES:

- LOT 1: 10,300 S.F. OR 0.24 ACRES
LOT 2: 8,417 S.F. OR 0.19 ACRES
TOTAL ACREAGE = 18,717 S.F. OR 0.43 ACRES
- ALL MONUMENTS WILL BE SET AFTER CONSTRUCTION HAS BEEN COMPLETED OR WITHIN ONE YEAR OF THE FILING OF THE PLAT PER IOWA CODE CHAPTER 355.6/4.
- WEIGHT BEARING CAPACITY OF 1500 POUNDS PER SQUARE FOOT MUST BE POSSIBLE BEFORE ANY HOME CAN BE BUILT UPON ANY LOT. WHERE REQUIRED BY THE BUILDING OFFICIAL, THE CLASSIFICATION AND INVESTIGATION OF THE SOIL SHALL BE MADE BY A REGISTERED DESIGN PROFESSIONAL.
- PLAT NOTES ESTABLISH REQUIREMENTS FOR HOW A SUBDIVISION WILL DEVELOP. HOWEVER, THE CITY RESERVES THE RIGHT IN ITS SOLE DISCRETION TO ALTER OR AMEND ANY PLAT NOTE OR TO SELL OR VACATE ANY RIGHT-OF-WAY OR UTILITY EASEMENT DEDICATED WITHIN THE PLAT. FURTHER, THE CITY RESERVES THE RIGHT UPON REQUEST OF THE OWNER TO RELOCATE ANY EASEMENT, ALTER LOT BOUNDARIES, OR ALLOW GROUND TO BE REPLATTED.
- BLANKET UNDERGROUND EASEMENTS GRANTED FOR ALL PRIMARY AND SECONDARY ELECTRIC CABLES, PAD-MOUNTED TRANSFORMERS, ELECTRIC TRANSFORMERS, PRIMARY CABLE, GAS SERVICE, WATER SERVICE, SEWER LATERALS, TELEPHONE SERVICES, AND CABLE TV TO INDIVIDUAL STRUCTURES AND STREET LIGHTS.



LEGEND



SURVEYOR CERTIFICATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY IOWA PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA. I FURTHER CERTIFY THAT THIS PLAT COMPLIES WITH CHAPTER 114A, CODE OF IOWA.



Dan J. Kuehl
FEBRUARY 12, 2021

DAN J. KUEHL
PROFESSIONAL LAND SURVEYOR
IA LAND SURVEYOR NUMBER 19959
EXPIRES: DECEMBER 31, 2021

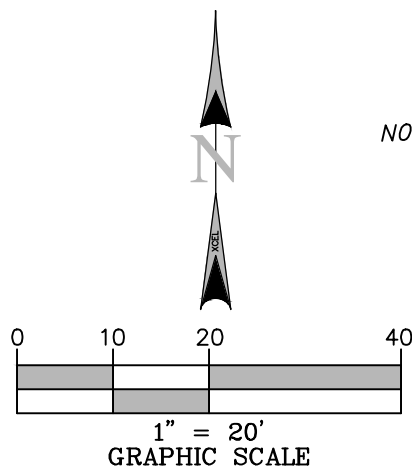
REVISIONS	
DATE	DESCRIPTION

8300 42ND STREET WEST
ROCK ISLAND, IL 61201
(O) 309-787-9988
(F) 309-756-5540
(E) XCEL@XCELCONSULTANTSINC.COM

CHK BY: BCH	APV BY: DJK
XCEL JOB NUMBER: 213095	
DRAWING NUMBER: 1 OF 1	

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	26.13'	51.00'	29°21'29"	S20°39'59"W	25.85'
C2	37.88'	51.00'	42°33'26"	S15°17'29"E	37.02'
C3	64.01'	51.00'	71°54'56"	S00°36'44"E	59.89'





COMMUNITY DEVELOPMENT

City Hall Annex λ 4403 Devils Glen Road, Bettendorf, Iowa 52722 λ (563) 344-4071

February 17, 2021

Staff Report

Case No. 21-006

Subdivision Name: Southfield Park 2nd Addition - Replat

Location: 4354 and 4346 Southfield Place

Applicant: Brad Bagby

Land Use Designation: Urban Light Intensity

Background Information and Facts

Brad Bagby has submitted the final plat of Southfield Park 2nd Addition (replat of Lots 5 and 6 of Southfield Park Addition) (see Aerial Photo and Final Plat - Attachment A and Attachment B). The boundaries of Lots 5 and 6 of Southfield Park Addition are being changed to incorporate a different design (see Final Plat - Attachment C.)

Land Use

The land use designation is Urban Light Intensity, and the zoning classification is R-2 Single-Family Residence District.

Utilities

Utilities are already available to the site. The developer will have the responsibility to connect to the utilities. All existing utilities are along the Southfield Place

Thoroughfare Plan/Pedestrian Access

The reconfigured lots will be accessed from Southfield Place.

Storm Water Detention

Storm water detention will be accomplished with the release of water to Duck Creek because of the close proximity to the Mississippi River.

Staff Recommendation

Staff recommends approval of the final plat with the following conditions:

1. Approval of the final plat does not waive any applicable local, state, or federal provisions as required by law.

Respectfully submitted,

Greg Beck
City Planner

February 24, 2021

Honorable Mayor and
Members of the City Council
City of Bettendorf
Bettendorf, Iowa 52722

SUBJECT: Planning and Zoning Commission's decision on the final plat of Southfield Park 2nd
Addition (replat), submitted by Brad Bagby. (Case 21-006)

Honorable Mayor and Members of the City Council:

On February 17, 2021, the Planning and Zoning Commission reviewed and recommended that your
Honorable Body approve the above named final plat request.

If you have any questions concerning this matter, please do not hesitate to contact this office.

Sincerely,

Mark D. Hunt
Director, Community Development

8. Case 21-006; Southfield Park 2nd Addition, submitted by Brad Bagby.

Beck reviewed the staff report.

Wennlund asked if the proposed replat will be affected by the new flood maps that will be adopted soon. Beck stated that none of the lots would be located within the 100-year flood boundary indicated on either of the map versions.

Drobny asked if the subdivision is directly adjacent to the bike path. Beck stated that the bike path is located in an outlot outside of the subdivision boundary. Kappeler stated that the subdivision is adjacent to the bike path but that there is a large separation between the bike path and the subdivision property boundary. Drobny asked if the lot lines would interfere with the bike path. Beck stated that the bike path would not be impacted in any way. Morlok explained that the only lot lines that are being revised are internal to the subdivision.

On motion by Gannaway, seconded by Gibson, that the final plat of Southfield Park 2nd Addition be recommended for approval subject to staff recommendations.

ALL AYES

Motion carried.



COUNCIL LETTER

MEETING DATE: March 2, 2021
REQUESTED BY: Mark Hunt

ITEM TITLE: Resolution approving the final plat of Tanglewood Place, submitted by Windmill Development, LLC. (Case 21-012)

Explanation (Background and How it Responds to Vision, Mission, or Goals)

Windmill Development LLC has submitted the final plat of Tanglewood Place which is located west of Grayhawk Addition, north of Tanglefoot Lane, and south of Tanglewood Road (see Aerial Photo - Attachment A). The preliminary plat indicates lots for townhouses and one lot in the northeast corner for a single-family dwelling only (see Preliminary Plat – Attachment B). The size of the proposed final plat is 6.7 acres (see Final Plat - Attachment C).

Enhances the Vision: “The City of Bettendorf is the most livable community for families” is reflected in the increased availability of lots for townhouse development.

The Planning and Zoning Commission made a recommendation for approval of the final plat by a 7-0 margin at its February 17 meeting.

Consult the Planning and Zoning Commission staff report for further details.

If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:

N/A

List Attachments:

Resolution; (A) Aerial Photo; (B) Preliminary Plat; (C) Final Plat; (D) Staff report to the Planning and Zoning Commission; (E) Planning and Zoning Commission report to the Mayor and City Council; (F) Excerpts from the Planning and Zoning Commission meeting minutes regarding this matter.

RESOLUTION NO. _____ - 21

**RESOLUTION APPROVING THE FINAL PLAT OF
TANGLEWOOD PLACE**

WHEREAS, Windmill Development, LLC, has submitted the final plat of Tanglewood Place, and

WHEREAS, the Planning and Zoning Commission has reviewed said final plat and recommended approval of it subject to the condition presented below, and

WHEREAS, the City Council concurs with the Planning and Zoning Commission's recommendation.

NOW, THEREFORE, BE IT RESOLVED, that the City Council approves the final plat of Tanglewood Place subject to the following condition:

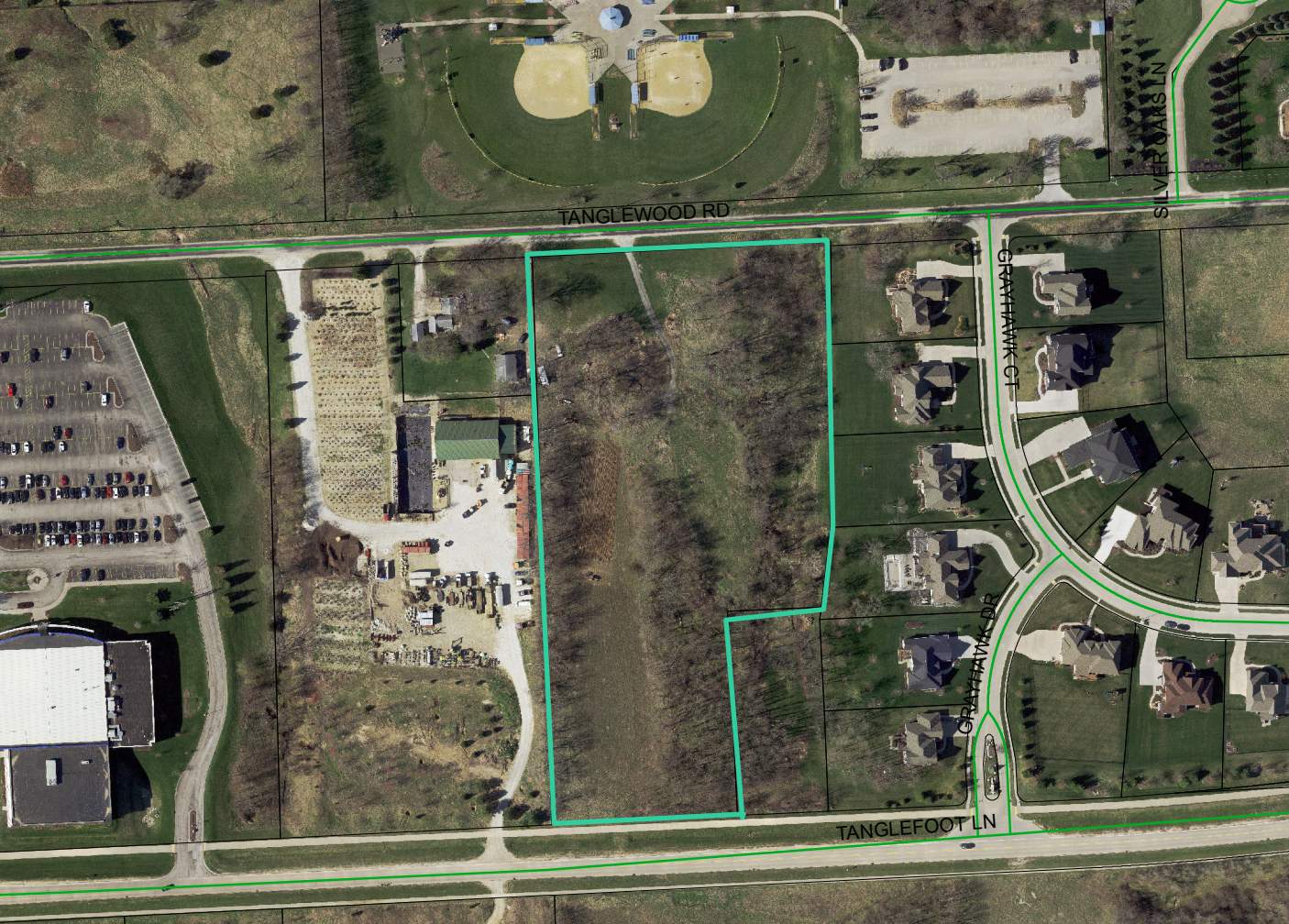
1. Approval of the final plat does not waive any applicable city, state, or federal provisions as required by law.

PASSED, APPROVED, AND ADOPTED this 2nd day of March, 2021.

Robert S. Gallagher, Mayor

ATTEST:

Decker P. Ploehn, City Clerk



TANGLEWOOD RD

SILVER OAKS LN

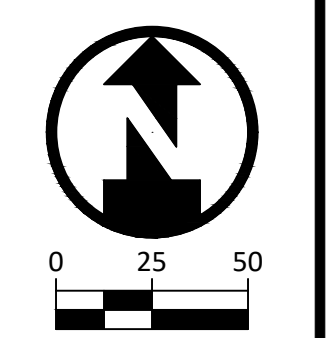
GRAYHAWK CT

GRAYHAWK DR

TANGLEFOOT LN

FINAL PLAT TANGLEWOOD PLACE SUBDIVISION BETTENDORF, IOWA

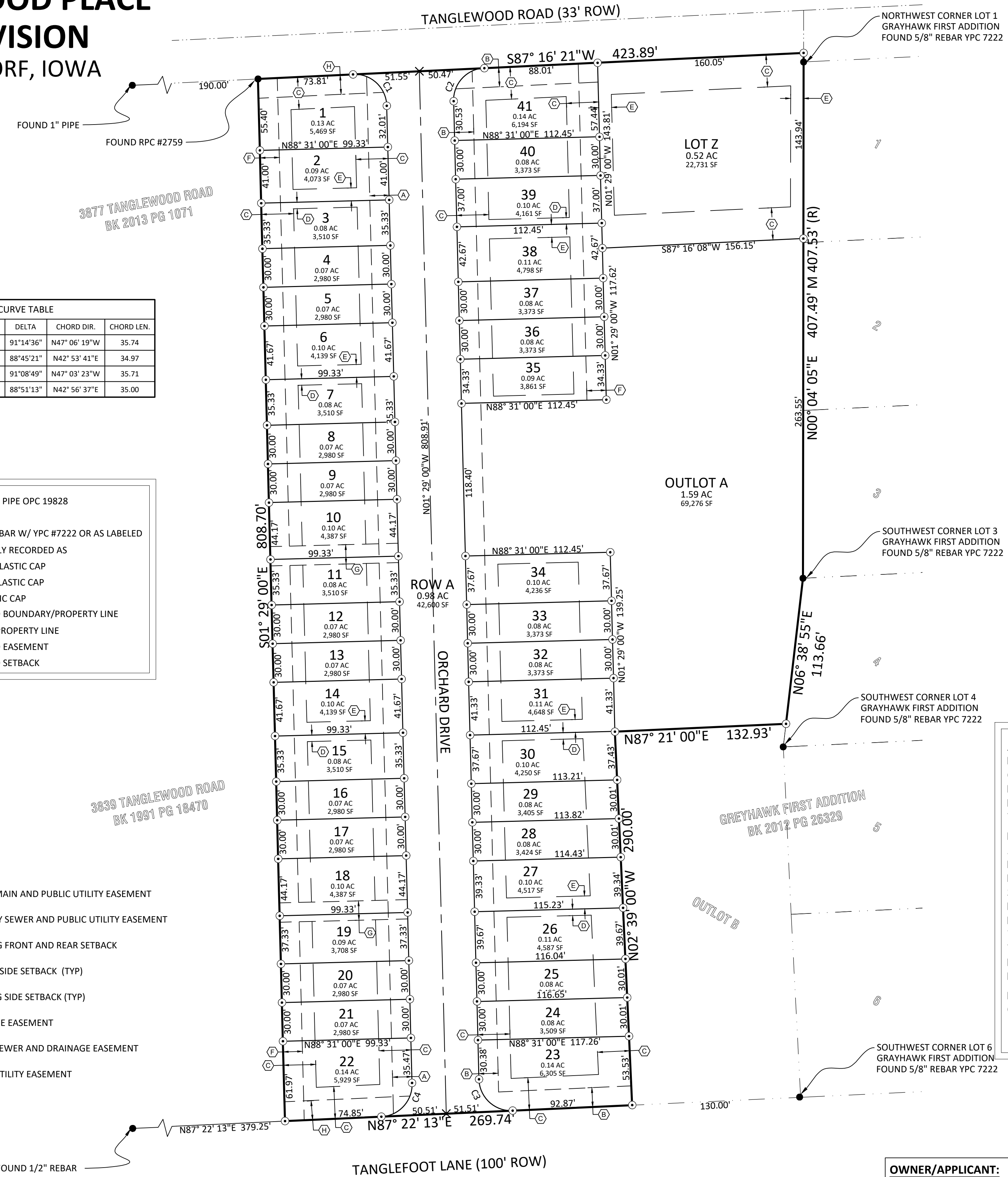
FOR RECORDER'S USE ONLY		RECORDER'S INDEX	
		COUNTY: SCOTT	
		SECTION: 15-78N-R4E	
		QUARTER SECTION: SE 1/4 NE 1/4	
		CITY: BETTENDORF	
		SUBDIVISION: TANGLEWOOD PLACE	
		BLOCK: NA	
		LOT(S): NA	



DRAWING LOG	
DESCRIPTION OF CHANGES	DATE
REVISED BUILDING LAYOUT	01-14-2021
CITY SUBMITTAL	02-09-2021

PROJECT NAME: TANGLEWOOD PLACE SUBDIVISION		CLIENT NAME: WINDMILLER DEV., LLC
---	--	--------------------------------------

SHEET NAME: FINAL PLAT		DESIGN PROFESSIONAL: BOELK
SHEET NUMBER: 1 OF 1		PROJECT NO.: 20-0149



CURVE #	LENGTH	RADIUS	DELTA	CHORD DIR.	CHORD LEN.
C1	39.81	25.00	91°14'36"	N47°06'19"W	35.74
C2	38.73	25.00	88°45'21"	N42°53'41"E	34.97
C3	39.77	25.00	91°08'49"	N47°03'23"W	35.71
C4	38.77	25.00	88°51'13"	N42°56'37"E	35.00

○	SET 3/4" Ø PIPE OPC 19828
✕	SET CUT X
●	FOUND REBAR W/ YPC #7222 OR AS LABELED
(R)	PREVIOUSLY RECORDED AS
OPC	ORANGE PLASTIC CAP
YPC	YELLOW PLASTIC CAP
RPC	RED PLASTIC CAP
---	PROPOSED BOUNDARY/PROPERTY LINE
---	EXISTING PROPERTY LINE
---	PROPOSED EASEMENT
---	PROPOSED SETBACK

- KEY NOTES:**
- Ⓐ 15' WATER MAIN AND PUBLIC UTILITY EASEMENT
 - Ⓑ 15' SANITARY SEWER AND PUBLIC UTILITY EASEMENT
 - Ⓒ 25' BUILDING FRONT AND REAR SETBACK
 - Ⓓ 5' BUILDING SIDE SETBACK (TYP)
 - Ⓔ 10' BUILDING SIDE SETBACK (TYP)
 - Ⓕ 15' DRAINAGE EASEMENT
 - Ⓖ 15' STORM SEWER AND DRAINAGE EASEMENT
 - Ⓗ 15' PUBLIC UTILITY EASEMENT

GENERAL NOTES:

- BASIS OF BEARINGS IS THE IOWA STATE PLANE COORDINATE SYSTEM SOUTH ZONE NAD 83.
- THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS AND ROADWAYS OF RECORD.
- NO INVESTIGATION CONCERNING ENVIRONMENTAL AND SUBSURFACE CONDITIONS, OR FOR THE EXISTENCE OF UNDERGROUND CONTAINERS, STRUCTURES OR FACILITIES WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY WAS MADE AS A PART OF THIS SURVEY.
- NO INVESTIGATION WAS MADE AS APART OF THIS SURVEY TO DETERMINE OR SHOW DATA CONCERNING EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITIES OR MUNICIPAL FACILITIES, EXCEPT AS NOTED. CALL IOWA ONE-CALL AT 1-800-292-8989 FOR INFORMATION REGARDING THESE UTILITIES OR FACILITIES.
- DISTANCES ARE LISTED IN FEET AND DECIMAL PART OF A FOOT.
- ZONING SETBACK LINES ARE BASED ON ZONING REQUIREMENTS AS OF THE DATE OF CITY COUNCIL APPROVAL. IN CASE OF CONFLICT BETWEEN LINES SHOWN AND FUTURE CODE REQUIREMENTS THE CODE REQUIREMENTS SHALL GOVERN.
- PLAT NOTES ESTABLISH REQUIREMENTS FOR HOW A SUBDIVISION WILL DEVELOP. HOWEVER, THE CITY RESERVES THE RIGHT IN ITS SOLE DISCRETION TO ALTER OR AMEND ANY PLAT NOTE, OR TO SELL OR VACATE ANY RIGHT OF WAY OR UTILITY DEDICATED WITHIN THE PLAT. FURTHER THE CITY RESERVES THE RIGHT UPON REQUEST OF THE OWNER TO RELOCATE ANY EASEMENT, ALTER LOT BOUNDARIES OR ALLOW GROUND TO BE REPLATTED.
- BLANKET UNDERGROUND EASEMENTS GRANTED FOR ALL PRIMARY AND SECONDARY ELECTRIC CABLES, PAD MOUNTED TRANSFORMERS, ELECTRIC TRANSFORMERS, PRIMARY CABLE, GAS SERVICE, WATER SERVICE, SEWER LATERALS, TELEPHONE SERVICE AND CABLE T.V. TO INDIVIDUAL STRUCTURES AND STREET LIGHTS.
- THE OWNERS OF LOTS WITH DRAINAGE EASEMENTS SHALL MAINTAIN A STORM WATER PASSAGEWAY WITHIN THE AREA PLATTED AS A "DRAINAGE EASEMENT". THIS AREA SHALL BE MAINTAINED AS A LAWN FREE OF STRUCTURES, BUSHES, TREES, AND OTHER LANDSCAPING THAT WOULD IMPEDE THE SURFACE FLOW OF STORM WATER. FUTURE VARIANCES SHALL NOT BE GIVEN TO SUCH STRUCTURES. FENCES SHALL NOT BE ALLOWED WITHIN ANY DRAINAGE EASEMENT OR DRAINAGEWAY.
- ALL INTERIOR ROADS SHALL HAVE SIDEWALK ON BOTH SIDES.
- LOT Z RESTRICTED TO SINGLE FAMILY USE ONLY.
- NO PARKING IS ALLOWED ON ORCHARD DRIVE BETWEEN NOVEMBER 15th AND MARCH 31st TO FACILITATE SNOW REMOVAL OPERATIONS. THIS TIMEFRAME CORRESPONDS WITH THE CITY'S DESIGNATED ON-CALL SNOW SEASON.
- THE ZONING FOR THE LOTS SHOWN ON THE SITE IS R-3.

REQUIRED SETBACKS ARE:

	FRONT	SIDE	REAR
	25'	5'/10'	25'

14. THE INTENDED USE OF THE OUTLOT AND LETTERED LOTS WITHIN THE PLAT ARE AS FOLLOWS:

OUTLOT	INTENDED USE	RESPONSIBLE PARTY
OUTLOT A	STORMWATER MANAGEMENT/PUBLIC PARKING	HOMEOWNER'S ASSOCIATION
ROW A	RIGHT-OF-WAY DEDICATION	CITY OF BETTENDORF
LOT Z	FUTURE DEVELOPMENT (SINGLE FAMILY)	HOMEOWNER'S ASSOCIATION

HOMEOWNER'S ASSOCIATION RESPONSIBLE FOR MAINTENANCE INCLUDING, BUT NOT LIMITED TO, SNOW REMOVAL.

LEGAL DESCRIPTION:

PART OF THE SOUTHEAST QUARTER (SE 1/4) OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 15, TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE 5TH P.M., LYING NORTH OF TANGLEWOOD LANE AND WEST OF GRAYHAWK FIRST ADDITION, AS RECORDED IN BOOK 2012, PAGE 26329 OF THE SCOTT COUNTY RECORDS ALL IN THE CITY OF BETTENDORF, SCOTT COUNTY, IOWA DESCRIBED AS:
 BEGINNING AT THE SOUTHWEST CORNER OF LOT 3 OF SAID GRAYHAWK FIRST ADDITION; THENCE ALONG THE WEST LINE OF SAID GRAYHAWK FIRST ADDITION N00°04'05"E, 407.49 FEET TO THE SOUTH RIGHT OF WAY LINE OF TANGLEWOOD ROAD; THENCE ALONG SAID SOUTH LINE S87°16'21"W, 423.89 FEET; THENCE S01°29'00"E, 808.70 FEET TO THE NORTH RIGHT OF WAY LINE OF TANGLEWOOD LANE; THENCE ALONG SAID NORTH LINE N87°22'13"E, 269.74 FEET TO THE WEST LINE OF OUTLOT B OF SAID GRAYHAWK FIRST ADDITION; THENCE ALONG SAID WEST LINE N02°39'00"W, 290.00 FEET TO THE NORTH LINE OF SAID OUTLOT B; THENCE ALONG SAID NORTH LINE N87°21'00"E, 132.93 FEET TO THE WEST LINE OF LOT 4 OF SAID GRAYHAWK FIRST ADDITION; THENCE ALONG SAID WEST LINE N06°38'55"E, 113.66 FEET TO THE POINT OF BEGINNING.
 DESCRIBED AREA CONTAINS 6.72 ACRES AND IS SUBJECT TO EASEMENTS AND OTHER RESTRICTIONS OF RECORD.

CITY OF BETTENDORF

BY _____ DATE _____

ATTEST _____ DATE _____

PLANNING AND ZONING

BY _____ DATE _____

UTILITY APPROVALS

CENTURYLINK _____ DATE _____

MIDAMERICAN ENERGY _____ DATE _____

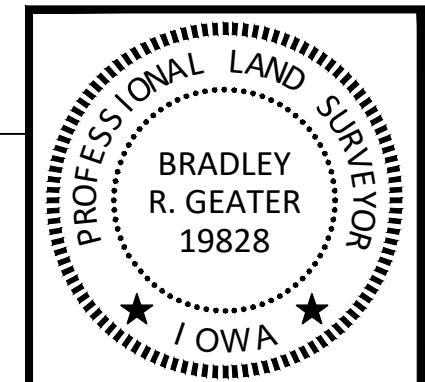
MEDIACOM _____ DATE _____

IOWA AMERICAN WATER COMPANY _____ DATE _____

METRONET _____ DATE _____

OWNER/APPLICANT:
WINDMILLER DEVELOPMENT, LLC
P.O. BOX 809
BETTENDORF, IA 52722

PREPARED BY:
AXIOM CONSULTANTS, LLC
60 E. COURT STREET, UNIT 3
IOWA CITY, IOWA 52240



HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

DRAFT REVIEW

BRADLEY R. GEATER, P.L.S., P.E. _____ DATE _____
 LICENSE NUMBER 19828

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2021.

PAGES OR SHEETS COVERED BY THIS SEAL: ALL



COMMUNITY DEVELOPMENT

City Hall Annex λ 4403 Devils Glen Road, Bettendorf, Iowa 52722 λ (563) 344-4071

February 17, 2021

Staff Report

Case No. 21-012

Subdivision Name: Tanglewood Place – Final Plat

Location: North of Tanglefoot Lane, south of Tanglewood Road, and west of Grayhawk Addition

Applicant: Windmill Development, LLC

Background Information and Facts

Windmill Development LLC has submitted the final plat of Tanglewood Place which is located west of Grayhawk Addition, north of Tanglefoot Lane, and south of Tanglewood Road (see Aerial Photo. Attachment A). The preliminary plat indicates lots for townhouses and one lot in the northeast corner for a single-family dwelling only (see Preliminary Plat – Attachment B). The size of the proposed final plat is 6.7 acres (see Final Plat - Attachment C). The site development plan reflects the building footprints of each unit (see Site Development Plan - Attachment D). The landscape plan meets the requirements of the Landscape Ordinance (see Landscape Plan - Attachment E). The structures will be 2 stories and will have front-loaded garages (see Elevations - Attachment F).

Land Use

The land use designation for the site is Urban Low Intensity which permits the R-3, Mixed Residential District zoning classification. A multi-unit townhouse design is permitted in this zoning district.

Utilities

Utility connections will come from the south along Tanglefoot Lane. The developer will provide all utility connections to the site.

Thoroughfare Plan/Access

The accesses to the site are anticipated to be from Tanglefoot Lane and Tanglewood Road.

Storm Water Detention

Storm water detention will be required for the site. Storm water storage and release will be in Outlot A. Storm water detention designs must be approved by the City Engineer prior to the issuance of building permits.

Recommended Action

Staff recommends the Planning and Zoning Commission recommend approval of the final plat subject to the following conditions:

1. Approval of the final plat does not waive any applicable city, state, or federal provisions as required by law.
2. Bank stabilization shall be required as determined by the Engineering Department.

Respectfully submitted,

Greg Beck
City Planner

February 24, 2021

Honorable Mayor and
Members of the City Council
City of Bettendorf
Bettendorf, Iowa 52722

SUBJECT: Planning and Zoning Commission's decision on the final plat of Tanglewood Place,
submitted by Windmill Development, LLC. (Case 21-012)

Planning and Zoning Commission's decision on a site development plan for
Tanglewood Place, submitted by Windmill Development, LLC. (Case 21-013)

Honorable Mayor and Members of the City Council:

On February 17, 2021, the Planning and Zoning Commission reviewed and recommended that your
Honorable Body approve the above named final plat and site development plan requests.

If you have any questions concerning this matter, please do not hesitate to contact this office.

Sincerely,

Mark D. Hunt
Director, Community Development

Final Plat/Site Development Plan

6. Case 21-012; Tanglewood Place, submitted by Windmill Development, LLC.
7. Case 21-013; Tanglewood Place (proposed), submitted by Windmill Development, LLC.

Beck reviewed the staff reports.

Adam asked if any consideration had been given to installing speed bumps on the street to attempt to control traffic. Morlok explained that there are no such plans, adding that when speed bumps were installed in the past on a trial basis they were unsuccessful in reducing traffic volume. He stated that the reconstruction of Tanglewood Road will likely begin next year, adding that he does not believe that the new street will be used as a cut-through.

Ormsby asked if sidewalks would be installed as a part of the reconstruction of Tanglewood Road. Morlok confirmed this, adding that they would be likely 10 feet wide on the north side and 6 feet wide on the south. Ormsby commented that the reconstruction project and sidewalk installation should alleviate many safety concerns.

Wennlund commented that he would not be in favor of installing speed bumps. He asked where snow will go given that no on-street parking is allowed between November 15 and March 31. Morlok explained that the street will be plowed by city crews in the same way as other city streets, adding that the snow on the driveways and sidewalks will be removed by a private contractor. He stated that the developer's contractor will use a tractor-mounted snow blower that will move the snow horizontally rather than using a snow blade to drag it back from driveways into the street. Morlok added that ultimately snow removal is the responsibility of the homeowner's association.

Wennlund recommended that some mechanism be used such as a flashing light to facilitate safer crossings across Tanglewood Road after the reconstruction is complete. Morlok stated that staff has already discussed the issue and that it is likely that a HAWK beacon similar to the one on Forest Grove Drive near the park will be installed.

On motion by Ormsby, seconded by Gannaway, that the final plat of Tanglewood Place be recommended for approval subject to staff recommendations.

ALL AYES

Motion carried.

On motion by Ormsby, seconded by Gannaway, that a site development plan for proposed Tanglewood Place be recommended for approval subject to staff recommendations.

ALL AYES

Motion carried.



COUNCIL LETTER

MEETING DATE: March 1 & 2, 2021
REQUESTED BY: Mark Hunt

ITEM TITLE: Resolution approving a site development plan for Tanglewood Place, submitted by Windmill Development, LLC. (Case 21-013)

Explanation (Background and How it Responds to Vision, Mission, or Goals)

Windmill Development, LLC has submitted a site development plan for Tanglewood Place which is located on the west side of Grayhawk Addition, north of Tanglefoot Lane, and south of Tanglewood Road (see Aerial Photo - Attachment A) and which is an R-3, Mixed Residential District. The preliminary plat indicates lots for townhouses and one lot in the northeast corner reserved for a single-family dwelling only (see Preliminary Plat – Attachment B). The size of the proposed final plat is 6.7 acres (see Final Plat - Attachment C). The site development plan reflects the building footprints of each unit (see Site Development Plan - Attachment D). The landscape plan meets the requirements of the Landscape Ordinance (see Landscape Plan - Attachment E). The structures will be 2 stories and will have front-loaded garages (see Elevations - Attachment F).

Enhances the Vision: “The City of Bettendorf is the most livable community for families” is reflected in the increased availability of lots for townhouse development.

The Planning and Zoning Commission made a recommendation for approval of the site development plan by a 7-0 margin at its February 17 meeting.

Consult the Planning and Zoning Commission staff report for further details.

If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:

N/A

List Attachments:

Resolution; (A) Aerial Photo; (B) Preliminary Plat; (C) Final Plat; (D) Site Development Plan; (E) Landscape Plan; (F) Elevations; (G) Staff report to the Planning and Zoning Commission; (H) Planning and Zoning Commission report to the Mayor and City Council; (I) Excerpts from the Planning and Zoning Commission meeting minutes regarding this matter.

RESOLUTION NO. _____ - 21

**RESOLUTION APPROVING A SITE DEVELOPMENT PLAN FOR
TANGLEWOOD PLACE**

WHEREAS, Windmill Development, LLC, has submitted a site development plan for Tanglewood Place, and

WHEREAS, the Planning and Zoning Commission has reviewed said site development plan and recommended approval of it subject to conditions presented below, and

WHEREAS, the City Council concurs with the Planning and Zoning Commission's recommendation.

NOW, THEREFORE, BE IT RESOLVED, that the City Council approves a site development plan for Tanglewood Place subject to the following conditions:

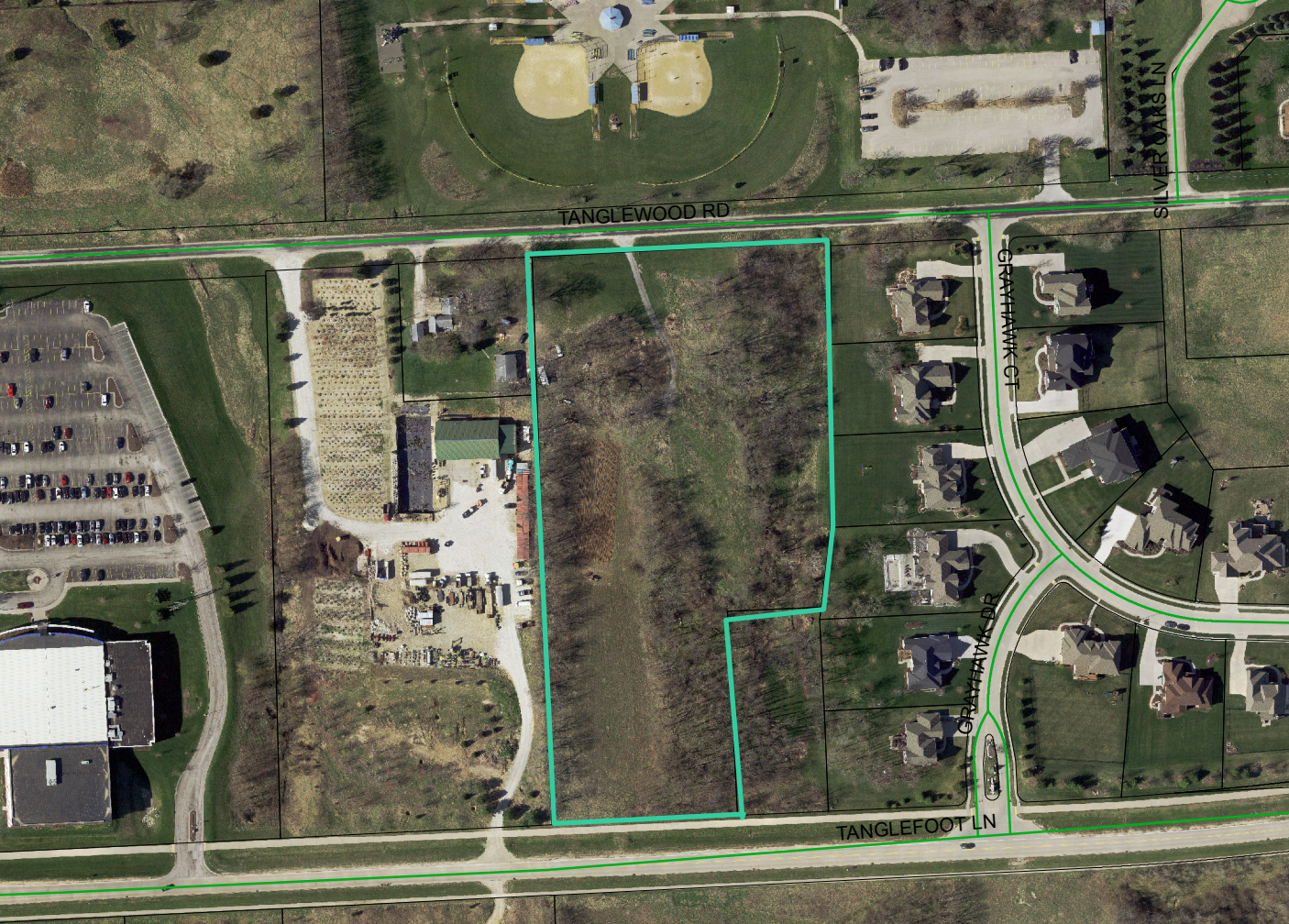
1. Approval of the site development plan does not waive any applicable city, state, or federal provisions as required by law.
2. Parking along Orchard Drive is prohibited from November 15 through March 31 to facilitate snow removal operations.
3. Sidewalks will be installed along Tanglewood Road during the City's upcoming reconstruction project. Cost for sidewalks will be assessed to the developer at that time.

PASSED, APPROVED, AND ADOPTED this 2nd day of March, 2021.

Robert S. Gallagher, Mayor

ATTEST:

Decker P. Ploehn, City Clerk



TANGLEWOOD RD

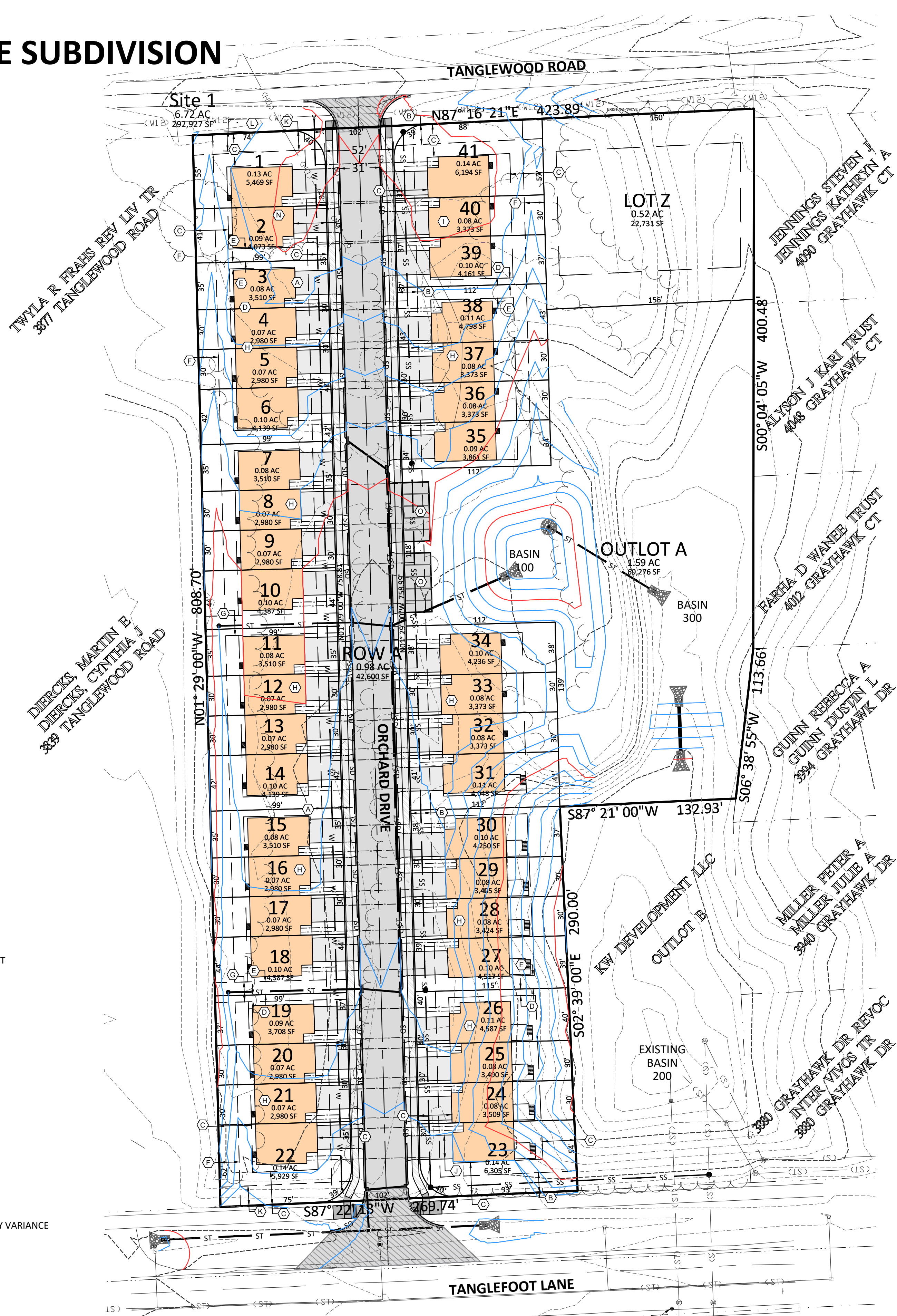
SILVER OAKS LN

GRAYHAWK CT

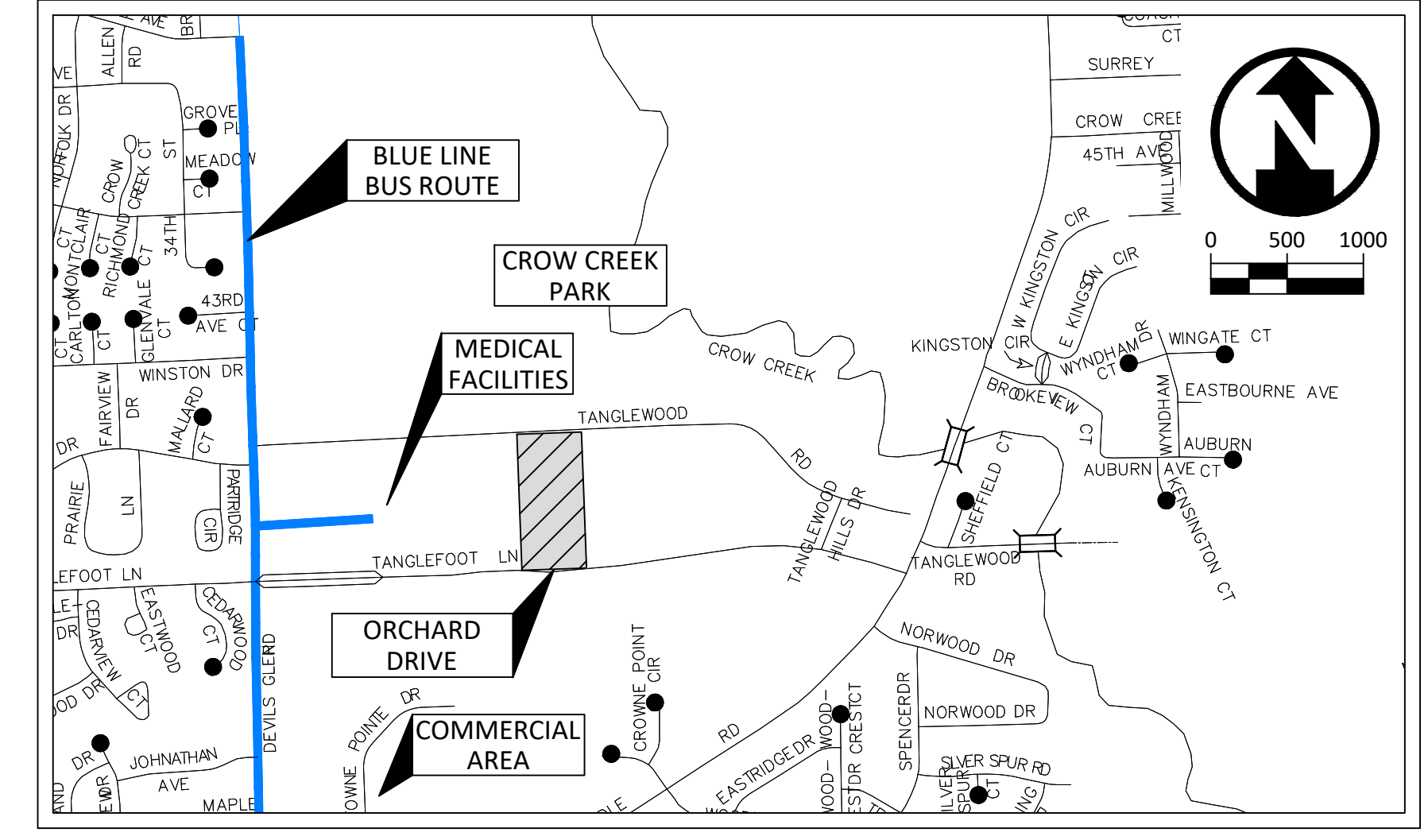
GRAYHAWK DR

TANGLEFOOT LN

PRELIMINARY PLAT TANGLEWOOD PLACE SUBDIVISION IN THE CITY OF BETTENDORF, SCOTT COUNTY, IOWA



PROJECT VICINITY MAP-CITY OF BETTENDORF



GENERAL NOTES:

- ALL IMPROVEMENTS ARE TO BE INSTALLED IN ACCORDANCE WITH THE LATEST CITY OF BETTENDORF STANDARD SPECIFICATIONS AND DETAIL DRAWINGS.
- THIS PRELIMINARY PLAT INCLUDES APPROXIMATELY 6.7 ACRES.
- THE ZONING FOR THE LOTS SHOWN ON THE SITE IS R-3.

REQUIRED SETBACKS ARE:

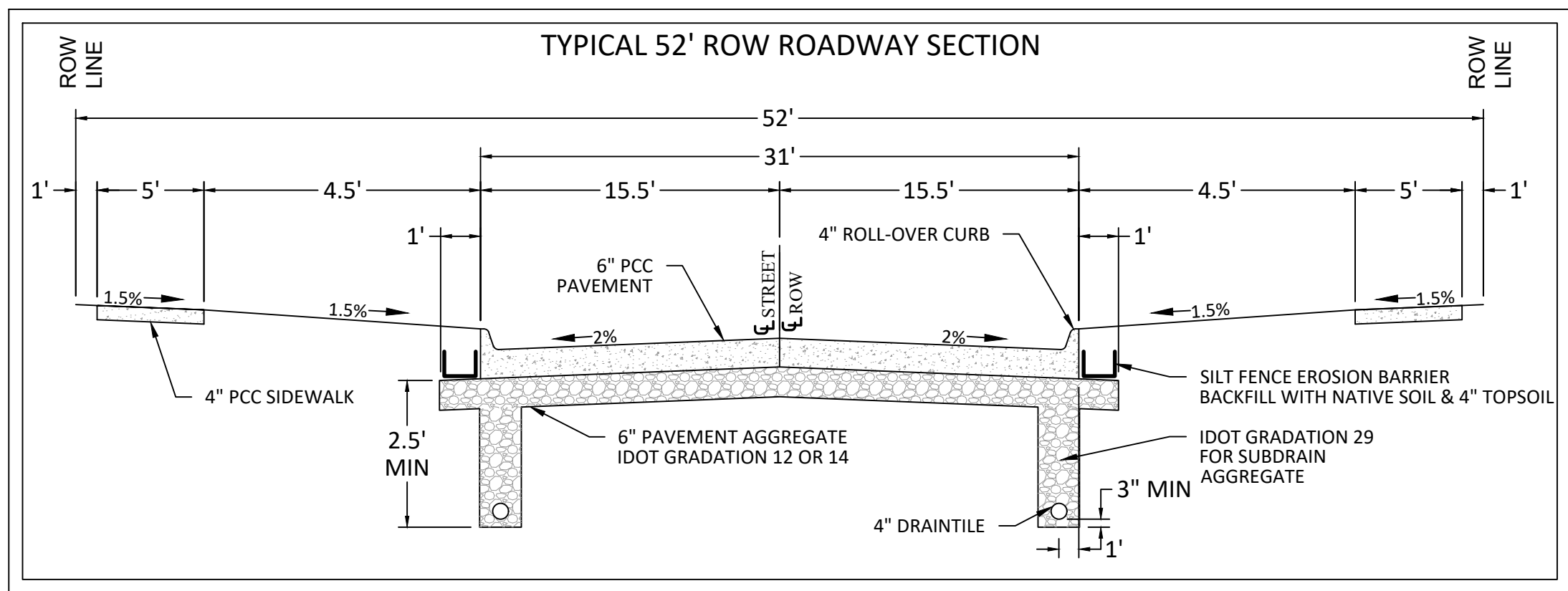
FRONT	SIDE	REAR
25'	5'/10'	25'

- EASEMENTS FOR PLANNING PURPOSES. SUBJECT TO CHANGE WITH SITE DESIGN. TO BE INCORPORATED INTO FINAL PLAT OR EASEMENT EXHIBITS.
- ALL PROPOSED WATERMAIN IS TO BE 8".
- ALL PROPOSED SANITARY SEWER IS TO BE 8".
- THE INTENDED USE OF THE OUTLOT AND LETTERED LOTS WITHIN THE PLAT ARE AS FOLLOWS:

OUTLOT	INTENDED USE	RESPONSIBLE PARTY
OUTLOT A	STORMWATER MANAGEMENT	HOMEOWNER'S ASSOCIATION
ROW A	RIGHT-OF-WAY DEDICATION	CITY OF BETTENDORF

- NO PARKING IS ALLOWED ON ORCHARD DRIVE BETWEEN NOVEMBER 1ST AND MARCH 1ST TO FACILITATE SNOW REMOVAL OPERATIONS.
- LOT Z RESTRICTED TO SINGLE FAMILY USE ONLY.

- KEY NOTES:**
- (A) 15' WATER MAIN AND PUBLIC UTILITY EASEMENT
 - (B) 15' SANITARY SEWER AND PUBLIC UTILITY EASEMENT
 - (C) 25' BUILDING FRONT AND REAR SETBACK
 - (D) 5' BUILDING SIDE SETBACK (TYP)
 - (E) 10' BUILDING SIDE SETBACK (TYP)
 - (F) 15' DRAINAGE EASEMENT
 - (G) 15' STORM SEWER AND DRAINAGE EASEMENT
 - (H) 120' x 46.33' 4-PLEX UNIT (TYP)
 - (I) 90.67' x 46.33' 3-PLEX UNIT (TYP)
 - (J) 18' WIDE DRIVEWAY (TYP)
 - (K) 15' PUBLIC UTILITY EASEMENT
 - (L) 15' FRONT SETBACK ON CORNER LOT-REQUESTED BY VARIANCE
 - (M) SHARED ACCESS
 - (N) 60' x 46.33' 2-PLEX UNIT (TYP)
 - (O) PARKING SPACES



OWNER: ANN I SCHROEDER LINDA GOLDBERMAN LYONS 4320 TANGLEWOOD ROAD BETTENDORF, IA 52722	APPLICANT: WINDMILLER DEVELOPMENT, LLC P.O. BOX 809 BETTENDORF, IA 52722	PREPARED BY: AXIOM CONSULTANTS, LLC 60 E. COURT STREET, UNIT 3 IOWA CITY, IOWA 52240
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AXIOM CONSULTANTS
ENGINEER: WWW.AXIOM-CON.COM | (319) 519-6220

DRAWING LOG

DATE	DESCRIPTION OF CHANGES

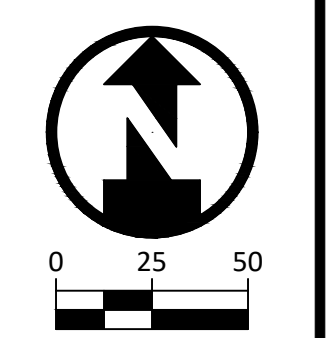
PROJECT NAME: TANGLEWOOD PLACE SUBDIVISION
CLIENT NAME: WINDMILLER DEV., LLC

SHEET NAME: PRELIMINARY PLAT
DESIGN PROFESSIONAL: BOELK
PROJECT NO.: 20-0149
SHEET NUMBER: 1 OF 1

NOT FOR CONSTRUCTION

FINAL PLAT TANGLEWOOD PLACE SUBDIVISION BETTENDORF, IOWA

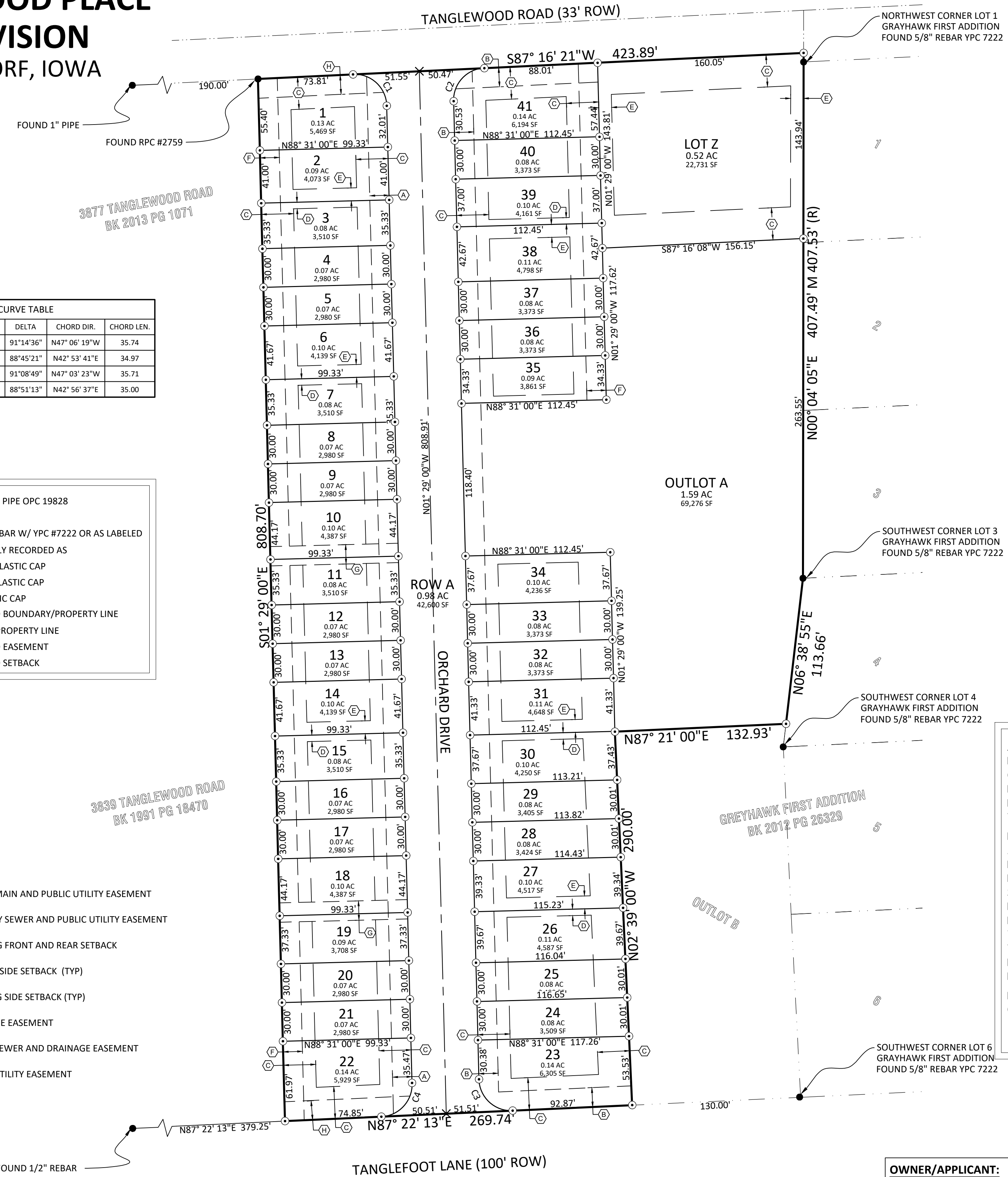
FOR RECORDER'S USE ONLY		RECORDER'S INDEX	
		COUNTY: SCOTT	
		SECTION: 15-78N-R4E	
		QUARTER SECTION: SE 1/4 NE 1/4	
		CITY: BETTENDORF	
		SUBDIVISION: TANGLEWOOD PLACE	
		BLOCK: NA	
		LOT(S): NA	



DRAWING LOG	
DESCRIPTION OF CHANGES	DATE
REVISED BUILDING LAYOUT	01-14-2021
CITY SUBMITTAL	02-09-2021

PROJECT NAME: TANGLEWOOD PLACE SUBDIVISION	
CLIENT NAME:	WINDMILLER DEV., LLC

SHEET NAME: FINAL PLAT	
SHEET NO.:	20-0149
DESIGN PROFESSIONAL:	BOELK
SHEET NUMBER: 1 OF 1	



CURVE #	LENGTH	RADIUS	DELTA	CHORD DIR.	CHORD LEN.
C1	39.81	25.00	91°14'36"	N47°06'19"W	35.74
C2	38.73	25.00	88°45'21"	N42°53'41"E	34.97
C3	39.77	25.00	91°08'49"	N47°03'23"W	35.71
C4	38.77	25.00	88°51'13"	N42°56'37"E	35.00

○	SET 3/4" Ø PIPE OPC 19828
✕	SET CUT X
●	FOUND REBAR W/ YPC #7222 OR AS LABELED
(R)	PREVIOUSLY RECORDED AS
OPC	ORANGE PLASTIC CAP
YPC	YELLOW PLASTIC CAP
RPC	RED PLASTIC CAP
---	PROPOSED BOUNDARY/PROPERTY LINE
---	EXISTING PROPERTY LINE
---	PROPOSED EASEMENT
---	PROPOSED SETBACK

- KEY NOTES:**
- Ⓐ 15' WATER MAIN AND PUBLIC UTILITY EASEMENT
 - Ⓑ 15' SANITARY SEWER AND PUBLIC UTILITY EASEMENT
 - Ⓒ 25' BUILDING FRONT AND REAR SETBACK
 - Ⓓ 5' BUILDING SIDE SETBACK (TYP)
 - Ⓔ 10' BUILDING SIDE SETBACK (TYP)
 - Ⓕ 15' DRAINAGE EASEMENT
 - Ⓖ 15' STORM SEWER AND DRAINAGE EASEMENT
 - Ⓗ 15' PUBLIC UTILITY EASEMENT

GENERAL NOTES:

- BASIS OF BEARINGS IS THE IOWA STATE PLANE COORDINATE SYSTEM SOUTH ZONE NAD 83.
- THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS AND ROADWAYS OF RECORD.
- NO INVESTIGATION CONCERNING ENVIRONMENTAL AND SUBSURFACE CONDITIONS, OR FOR THE EXISTENCE OF UNDERGROUND CONTAINERS, STRUCTURES OR FACILITIES WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY WAS MADE AS A PART OF THIS SURVEY.
- NO INVESTIGATION WAS MADE AS APART OF THIS SURVEY TO DETERMINE OR SHOW DATA CONCERNING EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITIES OR MUNICIPAL FACILITIES, EXCEPT AS NOTED. CALL IOWA ONE-CALL AT 1-800-292-8989 FOR INFORMATION REGARDING THESE UTILITIES OR FACILITIES.
- DISTANCES ARE LISTED IN FEET AND DECIMAL PART OF A FOOT.
- ZONING SETBACK LINES ARE BASED ON ZONING REQUIREMENTS AS OF THE DATE OF CITY COUNCIL APPROVAL. IN CASE OF CONFLICT BETWEEN LINES SHOWN AND FUTURE CODE REQUIREMENTS THE CODE REQUIREMENTS SHALL GOVERN.
- PLAT NOTES ESTABLISH REQUIREMENTS FOR HOW A SUBDIVISION WILL DEVELOP. HOWEVER, THE CITY RESERVES THE RIGHT IN ITS SOLE DISCRETION TO ALTER OR AMEND ANY PLAT NOTE, OR TO SELL OR VACATE ANY RIGHT OF WAY OR UTILITY DEDICATED WITHIN THE PLAT. FURTHER THE CITY RESERVES THE RIGHT UPON REQUEST OF THE OWNER TO RELOCATE ANY EASEMENT, ALTER LOT BOUNDARIES OR ALLOW GROUND TO BE REPLATTED.
- BLANKET UNDERGROUND EASEMENTS GRANTED FOR ALL PRIMARY AND SECONDARY ELECTRIC CABLES, PAD MOUNTED TRANSFORMERS, ELECTRIC TRANSFORMERS, PRIMARY CABLE, GAS SERVICE, WATER SERVICE, SEWER LATERALS, TELEPHONE SERVICE AND CABLE T.V. TO INDIVIDUAL STRUCTURES AND STREET LIGHTS.
- THE OWNERS OF LOTS WITH DRAINAGE EASEMENTS SHALL MAINTAIN A STORM WATER PASSAGEWAY WITHIN THE AREA PLATTED AS A "DRAINAGE EASEMENT". THIS AREA SHALL BE MAINTAINED AS A LAWN FREE OF STRUCTURES, BUSHES, TREES, AND OTHER LANDSCAPING THAT WOULD IMPEDE THE SURFACE FLOW OF STORM WATER. FUTURE VARIANCES SHALL NOT BE GIVEN TO SUCH STRUCTURES. FENCES SHALL NOT BE ALLOWED WITHIN ANY DRAINAGE EASEMENT OR DRAINAGEWAY.
- ALL INTERIOR ROADS SHALL HAVE SIDEWALK ON BOTH SIDES.
- LOT Z RESTRICTED TO SINGLE FAMILY USE ONLY.
- NO PARKING IS ALLOWED ON ORCHARD DRIVE BETWEEN NOVEMBER 15th AND MARCH 31st TO FACILITATE SNOW REMOVAL OPERATIONS. THIS TIMEFRAME CORRESPONDS WITH THE CITY'S DESIGNATED ON-CALL SNOW SEASON.
- THE ZONING FOR THE LOTS SHOWN ON THE SITE IS R-3.

REQUIRED SETBACKS ARE:

	FRONT	SIDE	REAR
	25'	5'/10'	25'

14. THE INTENDED USE OF THE OUTLOT AND LETTERED LOTS WITHIN THE PLAT ARE AS FOLLOWS:

OUTLOT	INTENDED USE	RESPONSIBLE PARTY
OUTLOT A	STORMWATER MANAGEMENT/PUBLIC PARKING	HOMEOWNER'S ASSOCIATION
ROW A	RIGHT-OF-WAY DEDICATION	CITY OF BETTENDORF
LOT Z	FUTURE DEVELOPMENT (SINGLE FAMILY)	HOMEOWNER'S ASSOCIATION

HOMEOWNER'S ASSOCIATION RESPONSIBLE FOR MAINTENANCE INCLUDING, BUT NOT LIMITED TO, SNOW REMOVAL.

CITY OF BETTENDORF

BY _____ DATE _____

ATTEST _____ DATE _____

PLANNING AND ZONING

BY _____ DATE _____

UTILITY APPROVALS

CENTURYLINK _____ DATE _____

MIDAMERICAN ENERGY _____ DATE _____

MEDIACOM _____ DATE _____

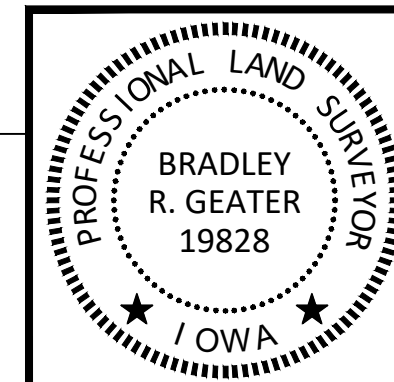
IOWA AMERICAN WATER COMPANY _____ DATE _____

METRONET _____ DATE _____

LEGAL DESCRIPTION:
PART OF THE SOUTHEAST QUARTER (SE 1/4) OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 15, TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE 5TH P.M., LYING NORTH OF TANGLEWOOD LANE AND WEST OF GRAYHAWK FIRST ADDITION, AS RECORDED IN BOOK 2012, PAGE 26329 OF THE SCOTT COUNTY RECORDS ALL IN THE CITY OF BETTENDORF, SCOTT COUNTY, IOWA DESCRIBED AS:
BEGINNING AT THE SOUTHWEST CORNER OF LOT 3 OF SAID GRAYHAWK FIRST ADDITION; THENCE ALONG THE WEST LINE OF SAID GRAYHAWK FIRST ADDITION N00°04'05"E, 407.49 FEET TO THE SOUTH RIGHT OF WAY LINE OF TANGLEWOOD ROAD; THENCE ALONG SAID SOUTH LINE S87°16'21"W, 423.89 FEET; THENCE S01°29'00"E, 808.70 FEET TO THE NORTH RIGHT OF WAY LINE OF TANGLEWOOD LANE; THENCE ALONG SAID NORTH LINE N87°22'13"E, 269.74 FEET TO THE WEST LINE OF OUTLOT B OF SAID GRAYHAWK FIRST ADDITION; THENCE ALONG SAID WEST LINE N02°39'00"W, 290.00 FEET TO THE NORTH LINE OF SAID OUTLOT B; THENCE ALONG SAID NORTH LINE N87°21'00"E, 132.93 FEET TO THE WEST LINE OF LOT 4 OF SAID GRAYHAWK FIRST ADDITION; THENCE ALONG SAID WEST LINE N06°38'55"E, 113.66 FEET TO THE POINT OF BEGINNING.
DESCRIBED AREA CONTAINS 6.72 ACRES AND IS SUBJECT TO EASEMENTS AND OTHER RESTRICTIONS OF RECORD.

OWNER/APPLICANT:
WINDMILLER DEVELOPMENT, LLC
P.O. BOX 809
BETTENDORF, IA 52722

PREPARED BY:
AXIOM CONSULTANTS, LLC
60 E. COURT STREET, UNIT 3
IOWA CITY, IOWA 52240



HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

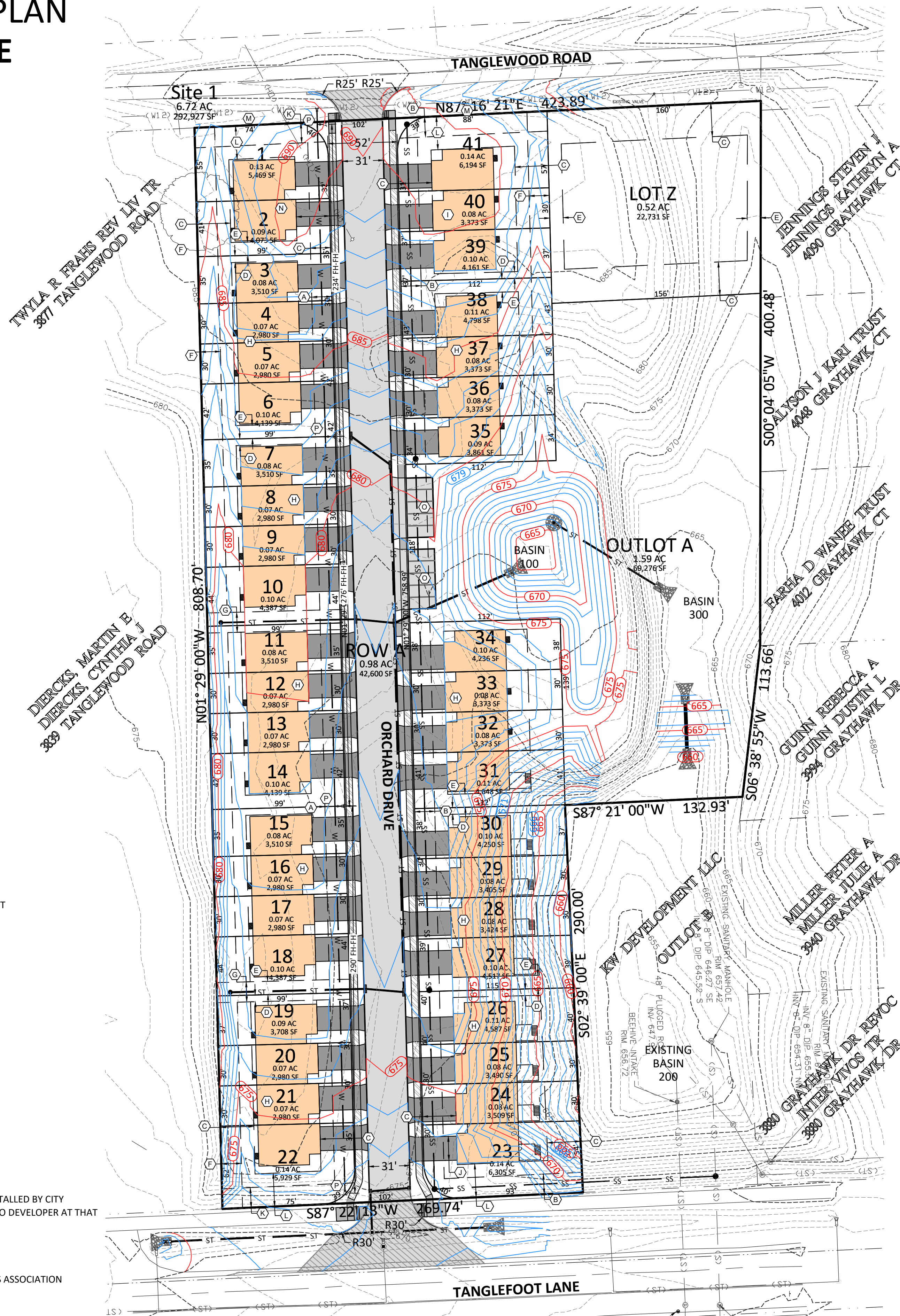
DRAFT REVIEW

BRADLEY R. GEATER, P.L.S., P.E. _____ DATE _____
LICENSE NUMBER 19828

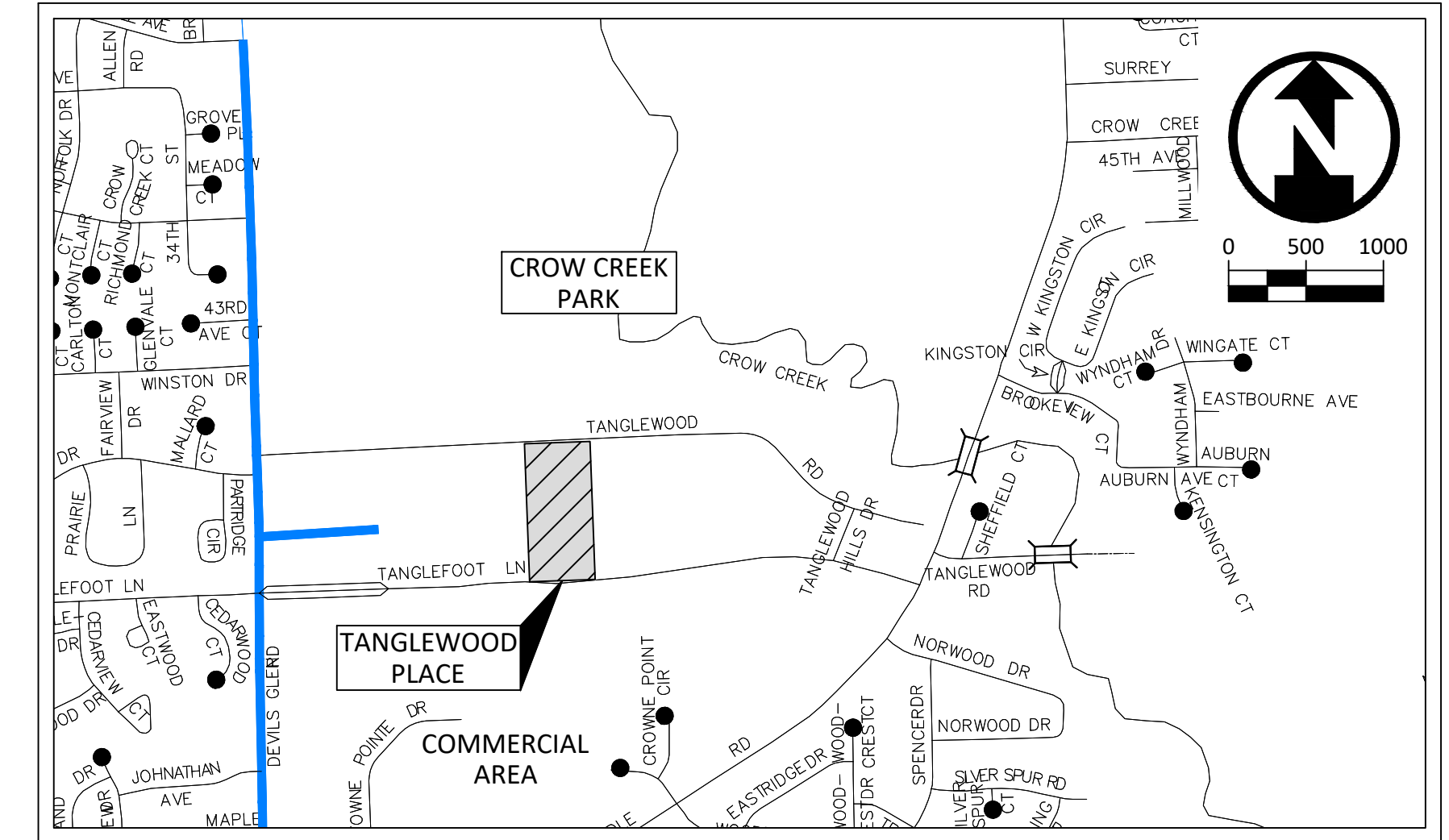
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2021.

PAGES OR SHEETS COVERED BY THIS SEAL: ALL

SITE DEVELOPMENT PLAN TANGLEWOOD PLACE SUBDIVISION IN THE CITY OF BETTENDORF, SCOTT COUNTY, IOWA



PROJECT VICINITY MAP-CITY OF BETTENDORF



LEGAL DESCRIPTION:

THE PARCEL SHOWN IN THE PLAT OF SURVEY RECORDED ON MARCH 11, 2014 IN BOOK 2014, PAGE 5201, OF THE SCOTT COUNTY RECORDER'S OFFICE, EXCEPT TRACT II AS SHOWN IN THE PLAT OF SURVEY RECORDED JUNE 19, 2017 IN BOOK 2017, PAGE 15859 IN THE SCOTT COUNTY RECORDER'S OFFICE AND TRACT I AS SHOWN IN THE PLAT OF SURVEY RECORDED JUNE 19, 2017 IN BOOK 2017, PAGE 15859 OF THE SCOTT COUNTY RECORDER'S OFFICE, ALL IN THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE 5TH P.M., BETTENDORF, SCOTT COUNTY, IOWA.

GENERAL NOTES:

- ALL IMPROVEMENTS ARE TO BE INSTALLED IN ACCORDANCE WITH THE LATEST CITY OF BETTENDORF STANDARD SPECIFICATIONS AND DETAIL DRAWINGS.
- THE ZONING FOR THE LOTS SHOWN ON THE SITE IS R-3.
REQUIRED SETBACKS ARE:
FRONT SIDE REAR STREET SIDE YARD/CORNER LOT
25' 5'/10' 25' 25'
- EASEMENTS FOR PLANNING PURPOSES. SUBJECT TO CHANGE WITH SITE DESIGN. TO BE INCORPORATED INTO FINAL PLAT OR EASEMENT EXHIBITS.
- ALL PROPOSED WATERMAIN IS TO BE 8".
- ALL PROPOSED SANITARY SEWER IS TO BE 8".
- THE INTENDED USE OF THE OUTLOT AND LETTERED LOTS WITHIN THE PLAT ARE AS FOLLOWS:

OUTLOT	INTENDED USE	RESPONSIBLE PARTY
OUTLOT A	STORMWATER MANAGEMENT & PUBLIC PARKING	HOMEOWNER'S ASSOCIATION
ROW A	RIGHT-OF-WAY DEDICATION	CITY OF BETTENDORF

HOMEOWNER'S ASSOCIATION RESPONSIBLE FOR MAINTENANCE INCLUDING, BUT NOT LIMITED TO, SNOW REMOVAL.
- NO PARKING IS ALLOWED ON ORCHARD DRIVE BETWEEN NOVEMBER 15th AND MARCH 31st TO FACILITATE SNOW REMOVAL OPERATIONS. THIS TIMEFRAME CORRESPONDS WITH THE CITY'S DESIGNATED ON-CALL SNOW SEASON.
- LOT Z RESTRICTED TO SINGLE FAMILY USE ONLY.

KEY NOTES:

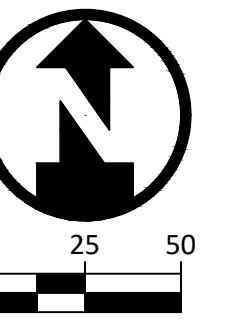
- (A) 15' WATER MAIN AND PUBLIC UTILITY EASEMENT
- (B) 15' SANITARY SEWER AND PUBLIC UTILITY EASEMENT
- (C) 25' BUILDING FRONT AND REAR SETBACK
- (D) 5' BUILDING SIDE SETBACK (TYP)
- (E) 10' BUILDING SIDE SETBACK (TYP)
- (F) 15' DRAINAGE EASEMENT
- (G) 15' STORM SEWER AND DRAINAGE EASEMENT
- (H) 120' x 46.33' 4-PLEX UNIT (TYP)
- (I) 90.67' x 46.33' 3-PLEX UNIT (TYP)
- (J) 18' WIDE DRIVEWAY (TYP)
- (K) 15' PUBLIC UTILITY EASEMENT
- (L) 25' CORNER SIDE YARD SETBACK
- (M) SIDEWALKS ALONG TANGLEWOOD ROAD TO BE INSTALLED BY CITY PROJECT. COST FOR SIDEWALK WILL BE ASSESSED TO DEVELOPER AT THAT TIME.
- (N) 60' x 46.33' 2-PLEX UNIT (TYP)
- (O) PARKING SPACES - MAINTAINED BY HOME OWNER'S ASSOCIATION
- (P) PROPOSED FIRE HYDRANT

OWNER:
ANN I SCHROEDER
LINDA GOLDBERMAN LYONS
4320 TANGLEWOOD ROAD
BETTENDORF, IA 52722

APPLICANT:
WINDMILLER DEVELOPMENT, LLC
P.O. BOX 809
BETTENDORF, IA 52722

PREPARED BY:
AXIOM CONSULTANTS, LLC
60 E. COURT STREET, UNIT 3
IOWA CITY, IOWA 52240

ENGINEER:
AXIOM CONSULTANTS
WWW.AXIOM-CON.COM | (319) 519-6220



REV	DESCRIPTION OF CHANGES	DATE
A <td>SUBMITTAL TO CITY <td>01-26-2021 </td></td>	SUBMITTAL TO CITY <td>01-26-2021 </td>	01-26-2021
B <td>SUBMITTAL TO CITY <td>02-09-2021 </td></td>	SUBMITTAL TO CITY <td>02-09-2021 </td>	02-09-2021

PROJECT NAME:
TANGLEWOOD PLACE SUBDIVISION
BETTENDORF, IOWA
CLIENT NAME:
WINDMILLER DEVELOPMENT, LLC

SHEET NAME:
SITE DEVELOPMENT PLAN
SHEET NUMBER:
20-0149
DESIGN PROFESSIONAL:
BOELK

1 OF 1

LANDSCAPE PLAN TANGLEWOOD PLACE SUBDIVISION IN THE CITY OF BETTENDORF, SCOTT COUNTY, IOWA

ZONED: A-1
FUTURE LAND USE: RECREATION

GENERAL LANDSCAPE PLANTING NOTES:

- CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO EXCAVATION. BEFORE COMMENCEMENT OF ANY WORK, CONTACT IOWA ONE CALL (1-800-292-8899) AT LEAST 48 HOURS PRIOR TO DIGGING. REPAIR DAMAGE TO UTILITIES AND STRUCTURES IMMEDIATELY.
- PRIOR TO PLANT MATERIAL INSTALLATION, THE LANDSCAPE OR OWNER'S REPRESENTATIVE SHALL APPROVE PLANT LOCATIONS. FIELD ADJUSTMENTS OF PROPOSED PLANT LOCATIONS LISTED ON PLAN MAY BE REQUIRED TO MINIMIZE POTENTIAL INTERFERENCE WITH EXISTING OR RELOCATED UTILITIES OR IMPROVE MAINTENANCE CONDITIONS.
- PRIOR TO INSTALLATION, ALL TREE PLANTING LOCATIONS SHALL BE FLAGGED AND PLANTING BEDS SHALL BE DELINEATED FOR APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. CONTACT THE PROJECT LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE ONE WEEK PRIOR TO ANTICIPATED PLANT MATERIAL INSTALLATION DATE FOR FINAL LAYOUT APPROVAL.
- ALL PLANT MATERIALS SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
- PLANT QUANTITIES ARE FOR CONTRACTOR'S CONVENIENCE. DRAWINGS SHALL PREVAIL WHERE DISCREPANCIES OCCUR.
- NO PLANT MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- BED PREPARATION AND MULCHING NOTES:
IMPORTED TOPSOIL, IF REQUIRED, SHALL BE: FERTILE, FRIABLE, NATURAL TOPSOIL, WITH A CLAY CONTENT NOT EXCEEDING 30% AND ORGANIC MATTER CONTENT NOT LESS THAN 5% FREE FROM LUMPS, COARSE SANDS, STONES, ROOTS, STICKS, AND OTHER FOREIGN MATERIAL, WITH ACIDITY RANGE OF BETWEEN Ph 6.0 and 6.8.
PLANTING SOIL: PLANTING SOIL (i.e. BACKFILL AREAS AROUND ROOT BALLS AS SHOWN ON TREE/SHRUB INSTALLATION DETAIL) SHALL BE AMENDED. THOROUGHLY MIX 4 PARTS TOPSOIL, 1 PART COMPOST, 1 PART SAND.
TOPSOIL SHALL BE AS SPECIFIED WITHIN THE NOTE ABOVE.
COMPOST SHALL BE FINELY SCREENED GRADED TO PASS SIEVE AS FOLLOWS:
-MINIMUM OF 85% BEING 1/4" OR SMALLER (DRY BASIS RESULT).
-MINIMUM OF 70% BEING 5/32" OR SMALLER (DRY BASIS RESULT).
-WITH CLUMPS OR PARTICLES 3/4" DIAMETER OR GREATER.
SAND SHALL BE C33 WASHED CONCRETE SAND, OR APPROVED EQUAL.
- UNLESS OTHERWISE STATED, ALL GRASS/PERENNIAL MASSINGS ARE TO BE EVENLY SPACED IN TRIANGULAR PATTERN ARRANGEMENT.
- PRIOR TO MULCHING ALL PLANTING BED AREAS, APPLY COMMERCIAL GRADE PRE-EMERGENT HERBICIDE (PREEN OR APPROVED EQUAL), PER MANUFACTURER'S DIRECTIONS, TO ALL PLANTING BEDS.
- PROVIDE A MINIMUM 3" DEPTH OF SHREDDED HARDWOOD MULCH IN ALL TREE PLANTING BEDS.
- PROVIDE 2" DEPTH MIN. OF SHREDDED HARDWOOD AND/OR RIVER ROCK MULCH IN ALL SHRUB/ORNAMENTAL GRASS/PERENNIAL BEDS.
- PROVIDE ALL TREES WITH A MINIMUM 3" DEPTH OF SHREDDED HARDWOOD MULCH. MULCH RINGS FOR TREES SHALL BE A MINIMUM SIX FOOT (6') DIAMETER AND CONTAIN SPADE EDGING AT MULCH RING EDGE.
- PROVIDE AND MAINTAIN POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION AND INSTALLATION. DO NOT ALLOW ADDITION OF TOPSOIL, PLANTING SOIL OR MULCH TO DETER POSITIVE DRAINAGE OR TO CREATE AREA OF LOCALIZED PONDING.
- NURSERY TAGS SHALL BE LEFT ON PLANT MATERIAL UNTIL LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE HAS COMPLETED THE INITIAL ACCEPTANCE.
- CONTAINER GROWN STOCK SHALL HAVE THE CONTAINER REMOVED AND THE ROOT BALL CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
- ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT TIME OF PLANTING.
- AS NEEDED, STAKE ALL NEWLY PLANTED TREES RELATIVE TO WIND EXPOSURE. ALL PLANTS SHALL BE SET PLUMB TO GROUND AND FACED FOR BEST APPEARANCE. AS NECESSARY, PRUNE DEAD BRANCHES OR THOSE THAT COMPROMISE APPEARANCE AND STRUCTURE TO A MAX OF 1/3 THE PLANT.
- CONTRACTOR SHALL WATER AND MAINTAIN ALL SODDED AREAS AS WELL AS ALL PLANTS UNTIL GROUND FREEZES. MAINTENANCE INCLUDES WEEDING, MULCHING, AND OTHER NECESSARY RELATED OPERATIONS UNTIL INITIAL ACCEPTANCE. INITIAL ACCEPTANCE IS CONSIDERED TO BE THE DATE AT WHICH PLANTING AND MULCHING, ETC. PER LANDSCAPE PLAN, HAS BEEN COMPLETED AND APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN VIGOROUS GROWING CONDITIONS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF INITIAL ACCEPTANCE.
- ALL PLANT MATERIALS THAT ARE DEAD OR IN AN UNHEALTHY OR UNSIGHTLY STATE ARE REQUIRED TO BE REPLACED AT NO ADDITIONAL COST TO THE OWNER FOR UP TO ONE YEAR OF INITIAL ACCEPTANCE.
- SURFACE RESTORATION FOR ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE TURF GRASS LAWN SOD, WITH AN ALTERNATE OPTION TO BE TURF GRASS LAWN SEED. ALL SEED & SOD APPLICATION NOTES ARE LISTED SEPARATELY. CONTRACTOR SHALL FOLLOW MANUFACTURER'S RECOMMENDED SPECIFICATIONS FOR PRODUCT INFORMATION & INSTALLATION. FOR ALL SURFACE RESTORATION, PLANTING PRACTICES, AND ANY OTHER LANDSCAPING WORK NOT ADDRESSED VIA MANUFACTURER'S SPECIFICATIONS, CONTRACTOR SHALL FOLLOW IOWA SUDAS SPECIFICATIONS DIVISION 09: SITE WORK AND LANDSCAPING OF IOWA.

LANDSCAPE LEGEND

- PLANTS:
- PROPOSED DECIDUOUS OVERSTORY
- PUBLIC EASEMENT

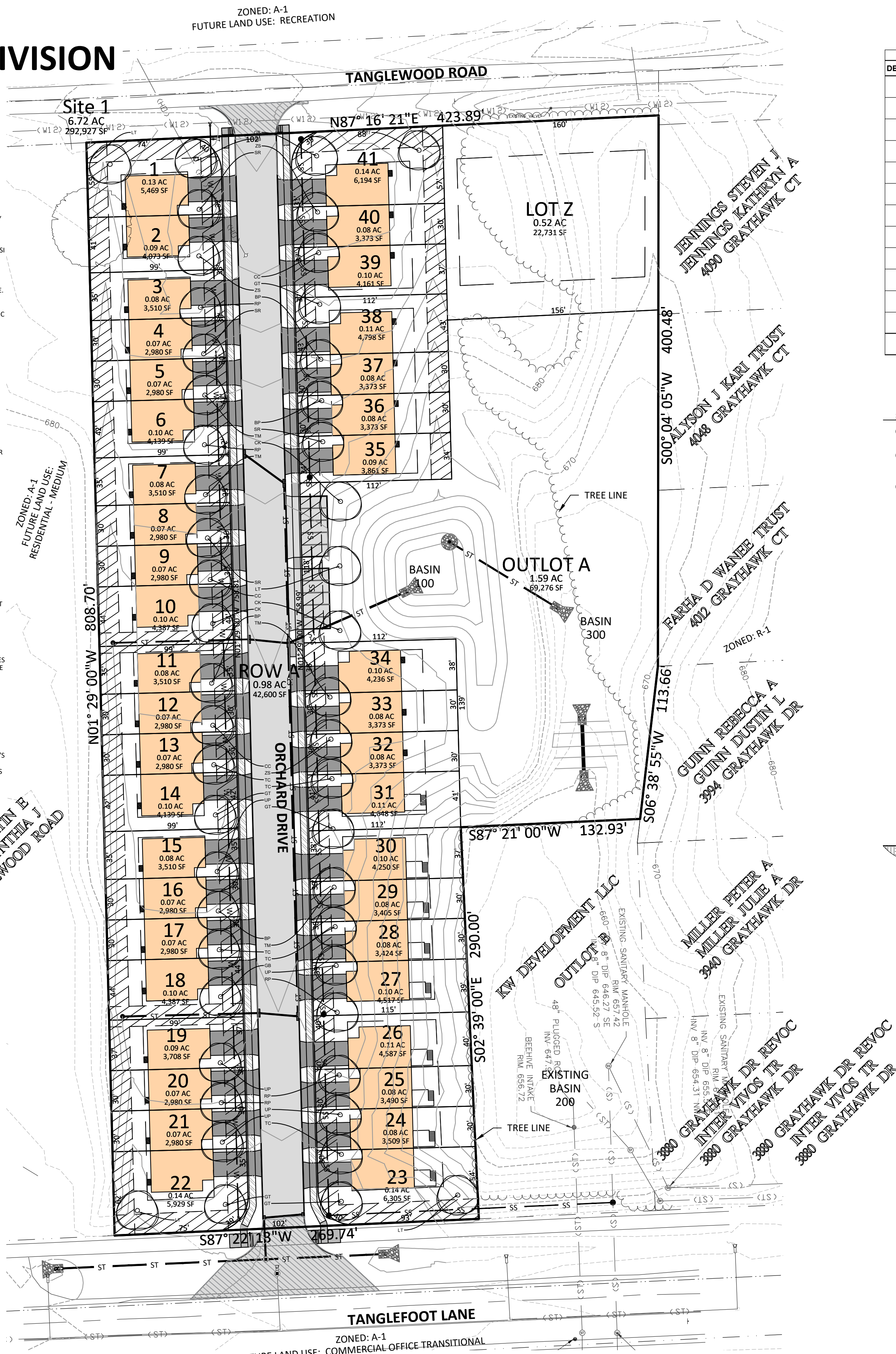
LANDSCAPE PLANTING REQUIREMENTS

- ZONING: N87° 08' 00" W 808.70'
S87° 22' 15" W 269.74'
- PROPOSED: R-3
NORTH: A-1 / FUTURE RECREATIONAL
SOUTH: A-1 / FUTURE COMMERCIAL/OFFICE
EAST: R-1
WEST: A-1 / FUTURE MED. DENSITY RESIDENTIAL
- GREENSPACE REQUIREMENT: 25' MIN. STREET YARD
- VEHICULAR USE AREAS: N/A
- SCREENING: N/A
- TREE FACTOR UNITS REQUIRED:
- AVG. LOT GREENSPACE = 25' D X 30' W = 750 SQ. FT.
01 TREE FACTOR / 700 SQ. FT. * 750 = 1.07 TREE FACTORS
01 TREE FACTOR APPLIED ON CORNER LOTS IN ADDITION

SOD/SEED ALL DISTURBED SOILS:

- IF TURF GRASS LAWN SEED ALTERNATE IS USED IN LIEU OF SOD, ALL SEEDING APPLICATIONS SHALL BE PROVIDED BY UNITED SEEDS INC. OR APPROVED EQUAL.
- ALL TURF GRASS LAWN AREAS, WHETHER SODDED OR SEEDED, UNLESS NOTED OTHERWISE, ARE TO BE PLANTED AND INSTALLED AS PER THE "TECHNICAL BULLETIN" FOR "SOD GROWER II KENTUCKY BLUEGRASS BLEND" PROVIDED BY UNITED SEEDS, OR APPROVED EQUAL. TECHNICAL BULLETIN FOR "SOD GROWER II KENTUCKY BLUEGRASS BLEND" CAN BE FOUND ON THE UNITED SEEDS WEBSITE: www.unitedseeds.com
- ALL TURF GRASS SOD TO BE OF THE SAME PERFORMANCE QUALITY AND SPECIES TYPE OF THE "SOD GROWER II KENTUCKY BLUEGRASS BLEND" PROVIDED BY UNITED SEEDS, OR APPROVED EQUAL. BLUEGRASS VARIETIES SHALL INCLUDE: "CONCERTO", "NU BLUE", "BEYOND", AND "EVEREST".

CONTACT INFO:
N87° 08' 00" W 808.70'
S87° 22' 15" W 269.74'



ID	QTY.	BOTANICAL/COMMON NAME	MAT. SIZE	ROOT	SPACING	NOTES
DECIDUOUS TREES						
SR	4	Syringa reticulata JAPANESE TREE LILAC	25' H X 20' W	22" BB	SEE PLAN	MIN. OF 2" CALIPER - 01 TREE FACTOR
GB	3	Ginkgo biloba 'Autumn Gold' GINKGO	40' H X 40' W	22" BB	SEE PLAN	MIN. OF 2" CALIPER - 01 TREE FACTOR
TM	4	Tilia mongolica 'Harvest Gold' PP12232 MONGOLIAN LINDEN	35' H X 20' W	22" BB	SEE PLAN	MIN. OF 2" CALIPER - 01 TREE FACTOR
TC	5	Tilia cordata 'Greenspire' GREENSPIRE LINDEN	40' H X 30' W	22" BB	SEE PLAN	MIN. OF 2" CALIPER - 01 TREE FACTOR
GT	5	Gleditsia triacanthos 'Skyline' SKYLINE HONEYLOCUST	45' H X 35' W	22" BB	SEE PLAN	MIN. OF 2" CALIPER - 01 TREE FACTOR
CK	3	Cedrus deodora AMERICAN YELLOWWOOD	40' H X 45' W	22" BB	SEE PLAN	MIN. OF 2" CALIPER - 01 TREE FACTOR
UP	5	Ulmus parvifolia CHINESE ELM	45' H X 30' W	22" BB	SEE PLAN	MIN. OF 2" CALIPER - 01 TREE FACTOR
RP	5	Robinia pseudoacacia 'Chicago Blues' BLACK LOCUST	45' H X 35' W	22" BB	SEE PLAN	MIN. OF 2" CALIPER - 01 TREE FACTOR
CC	3	Cercis canadensis 'Forest Pansy' FOREST PANSY REDBUD	20' H X 20' W	22" BB	SEE PLAN	MIN. OF 2" CALIPER - 01 TREE FACTOR
ZS	3	Zelkova serrata 'Musaashino' ZELKOVA	45' H X 15' W	22" BB	SEE PLAN	MIN. OF 2" CALIPER - 01 TREE FACTOR
LT	5	Liriodendron tulipifera TULIP TREE	60' H X 40' W	22" BB	SEE PLAN	MIN. OF 2" CALIPER - 01 TREE FACTOR
BP	4	Betula platyphylla 'Fargo' DAKOTA PINNACLE BIRCH	35' H X 15' W	22" BB	SEE PLAN	MIN. OF 2" CALIPER - 01 TREE FACTOR

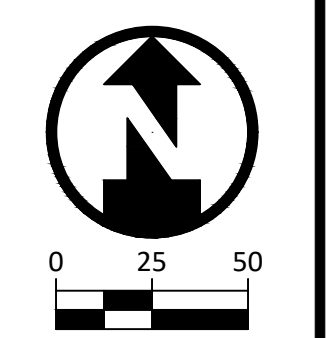
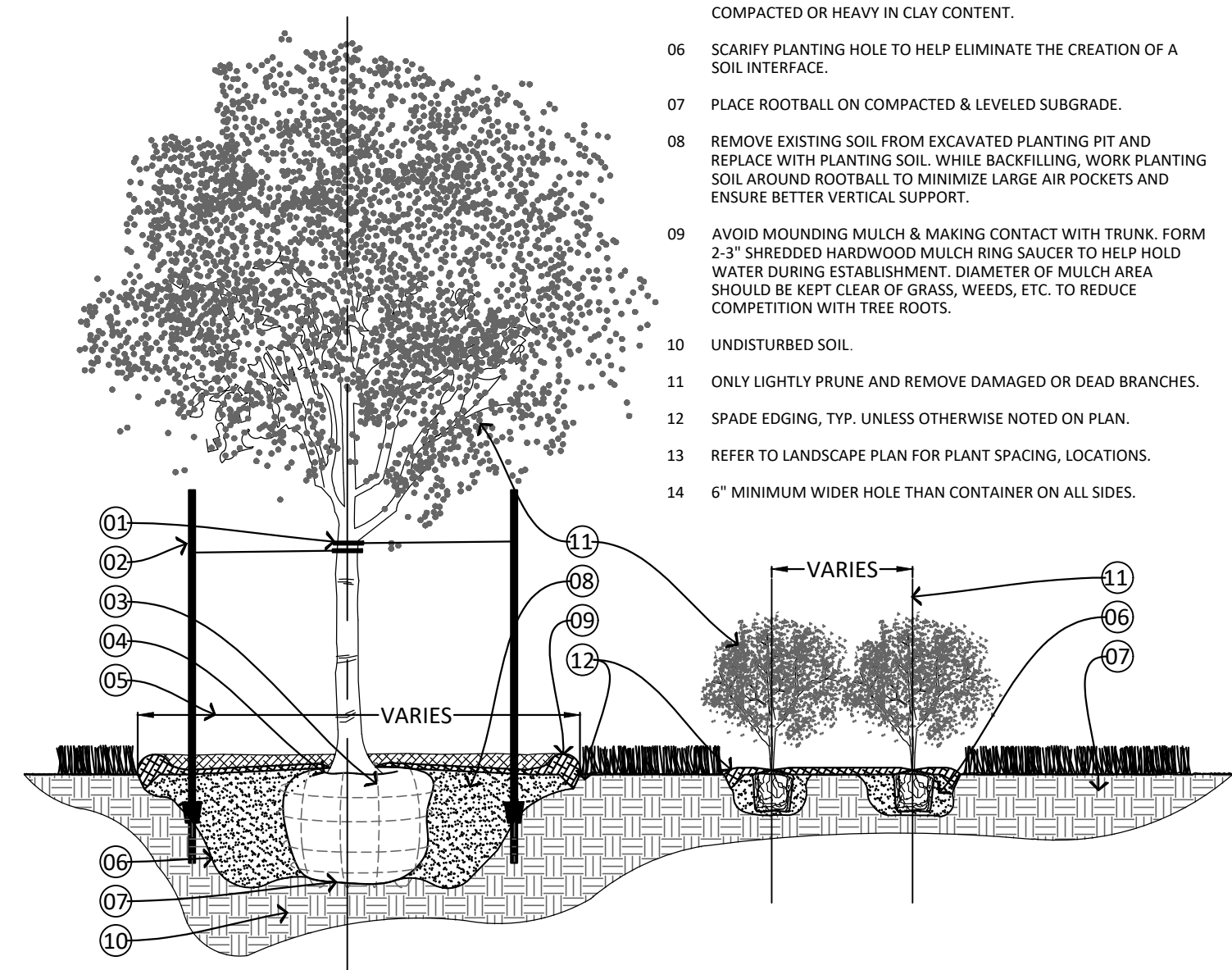
ALL PLANTS NURSERY MATCHED, QUALITY SPECIMEN; PLANS SHALL SUPERCEDE PLANT COUNTS

STAKING NOTES:

- TREE STAKING SHALL ONLY BE USED IF NOTED, IN HIGH WIND AREAS, OR AREAS OF HEAVY ADJACENT PEDESTRIAN TRAFFIC.
- STAKING WIRE THROUGH RUBBER HOSE SET LOOSE TO ALLOW FOR TRUNK TAPER AND DETRIMENTAL GROWTH. TREE SHOULD ALLOW LIMITED MOVEMENT.
- STEEL FENCE POST STAKE DRIVEN INSIDE MULCH RING DIAMETER. DRIVE STAKES 1"-0" INTO UNDISTURBED SOIL BELOW ROOTBALL.

TREE & SHRUB PLANTING NOTES:

- REMOVE WIRE BASKET AND BURLAP ONCE PLACED INTO PLANTING HOLE. REMOVE ALL SOIL AND SYNTHETIC TWINE.
- TRUNK FLARE SHOULD BE EXPOSED BEFORE DETERMINING PLANTING HOLE DEPTH. PLANT TREE WITH TRUNK FLARE 1-2" MAXIMUM ABOVE ORIGINAL GRADE. AVOID PLANTING TREE TOO DEEPLY.
- PLANTING HOLE TO BE AT MINIMUM 3 TIMES THE WIDTH OF ROOTBALL AT SOIL SURFACE. SLOPING TO THE WIDTH OF ROOT BALL AT BASE. PLANTING HOLE NEAR SURFACE IS INCREASED TO 5 TIMES THE WIDTH OF ROOTBALL WHEN SOILS ARE HIGHLY COMPACTED OR HEAVY IN CLAY CONTENT.
- SCARIFY PLANTING HOLE TO HELP ELIMINATE THE CREATION OF A SOIL INTERFACE.
- PLACE ROOTBALL ON COMPACTED & LEVELED SUBGRADE.
- REMOVE EXISTING SOIL FROM EXCAVATED PLANTING PIT AND REPLACE WITH PLANTING SOIL. WHILE BACKFILLING, WORK PLANTING SOIL AROUND ROOTBALL TO MINIMIZE LARGE AIR POCKETS AND ENSURE BETTER VERTICAL SUPPORT.
- AVOID MOUNDING MULCH & MAKING CONTACT WITH TRUNK. FORM 2-3" SHREDDED HARDWOOD MULCH RING SAUCER TO HELP HOLD WATER DURING ESTABLISHMENT. DIAMETER OF MULCH AREA SHOULD BE KEPT CLEAR OF GRASS, WEEDS, ETC. TO REDUCE COMPETITION WITH TREE ROOTS.
- UNDISTURBED SOIL.
- ONLY LIGHTLY PRUNE AND REMOVE DAMAGED OR DEAD BRANCHES.
- SPADE EDGING, TYP. UNLESS OTHERWISE NOTED ON PLAN.
- REFER TO LANDSCAPE PLAN FOR PLANT SPACING, LOCATIONS.
- 6" MINIMUM WIDER HOLE THAN CONTAINER ON ALL SIDES.



REV	DATE	DESCRIPTION OF CHANGES
A	01-26-2021	SUBMITTAL TO CITY
B	02-09-2021	SUBMITTAL TO CITY

PROJECT NAME:
TANGLEWOOD PLACE SUBDIVISION
BETTENDORF, IOWA

CLIENT NAME:
WINDMILLER DEVELOPMENT, LLC

SHEET NAME:
LANDSCAPE PLAN

DESIGN PROFESSIONAL:
BOELK

PROJECT NO.:

20-0149

SHEET NUMBER:
L1.00

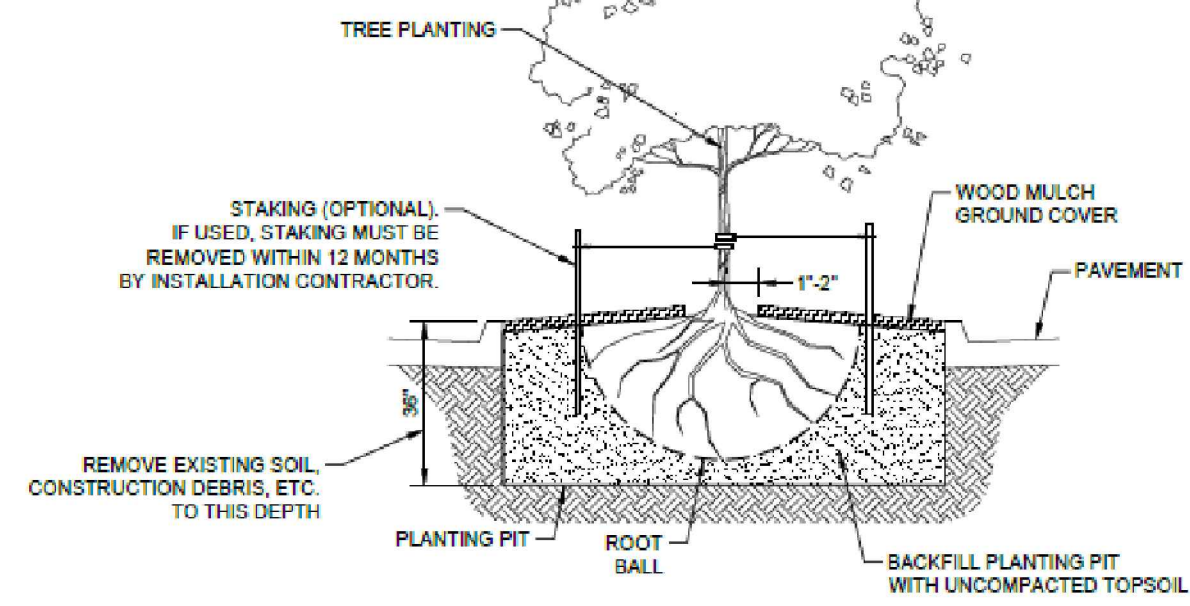
NOT FOR CONSTRUCTION

OWNER:
ANN I SCHROEDER
LINDA GOLDBERMAN LYONS
4320 TANGLEWOOD ROAD
BETTENDORF, IA 52722

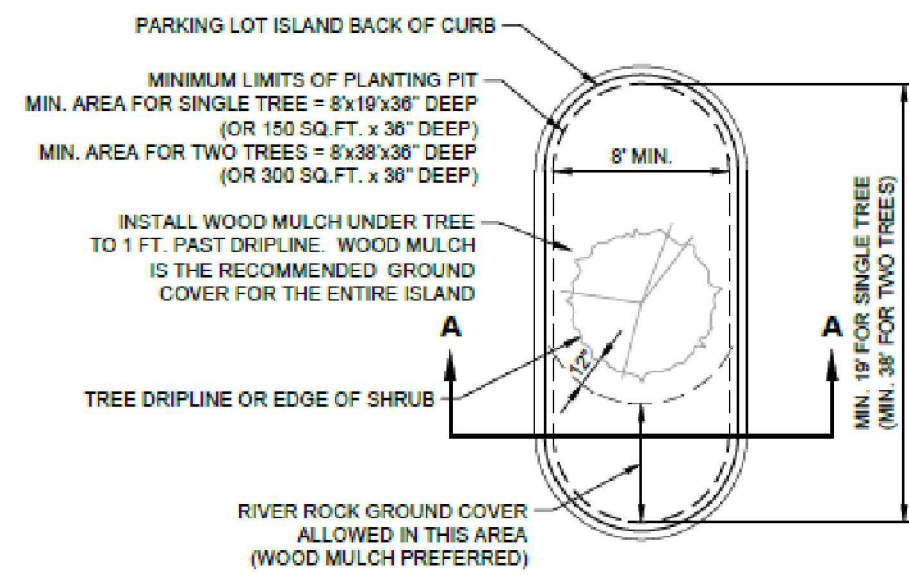
APPLICANT:
WINDMILLER DEVELOPMENT, LLC
P.O. BOX 809
BETTENDORF, IA 52722

PREPARED BY:
AXIOM CONSULTANTS, LLC
60 E. COURT STREET, UNIT 3
IOWA CITY, IOWA 52240

NOTE:
FOR ISLANDS LARGER THAN THE MIN. PIT SIZE, A MIN. DEPTH OF 6" OF TOPSOIL SHALL BE SPREAD OUTSIDE OF THE PLANTING PIT AREA. AS AN ALTERNATIVE, COMPACTION MITIGATION TO A DEPTH OF 2 FEET OUTSIDE THE MIN. PLANTING AREA MAY BE SUBSTITUTED PENDING A REVIEW BY THE CITY FORESTER.



SECTION A-A

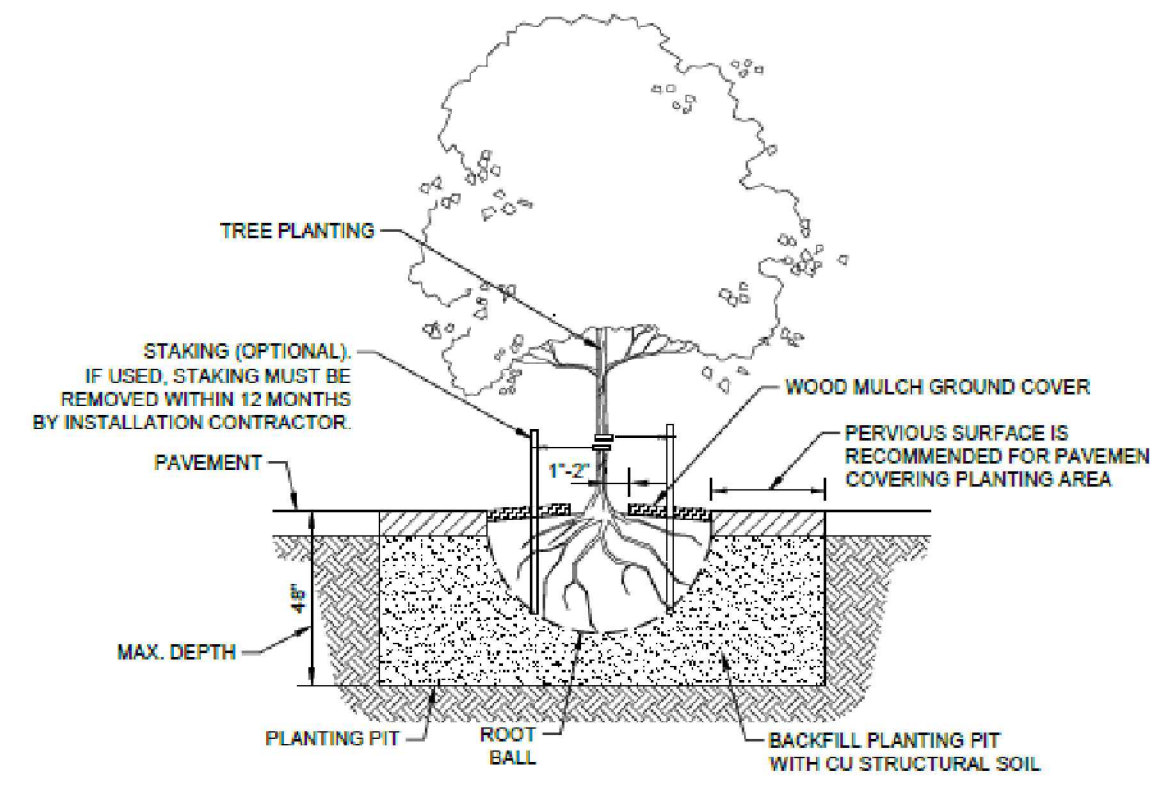


PLAN VIEW

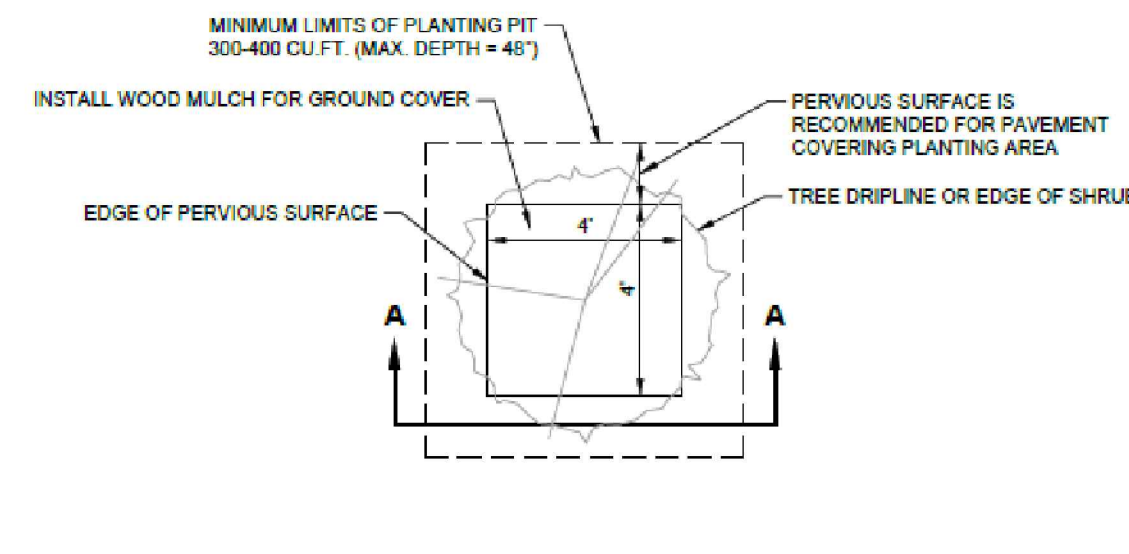
STANDARD PLANTING PIT DETAIL

NTS

1



SECTION A-A

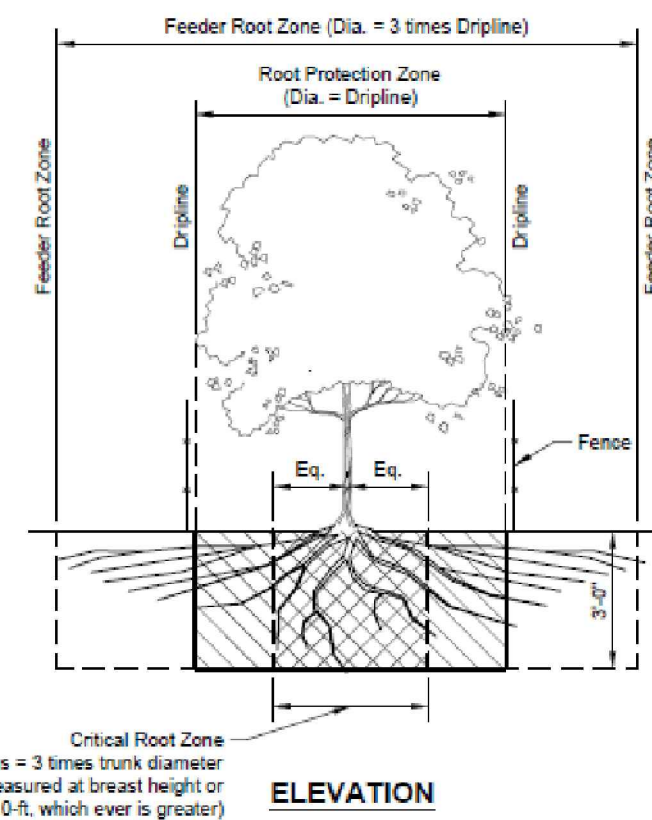


PLAN VIEW

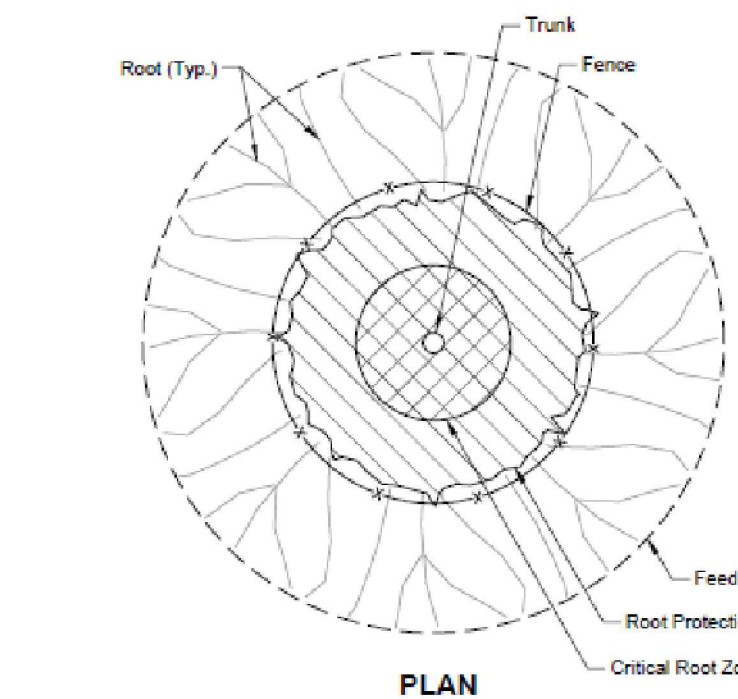
SPECIAL USE PLANTING PIT DETAIL

NTS

2



ELEVATION



PLAN

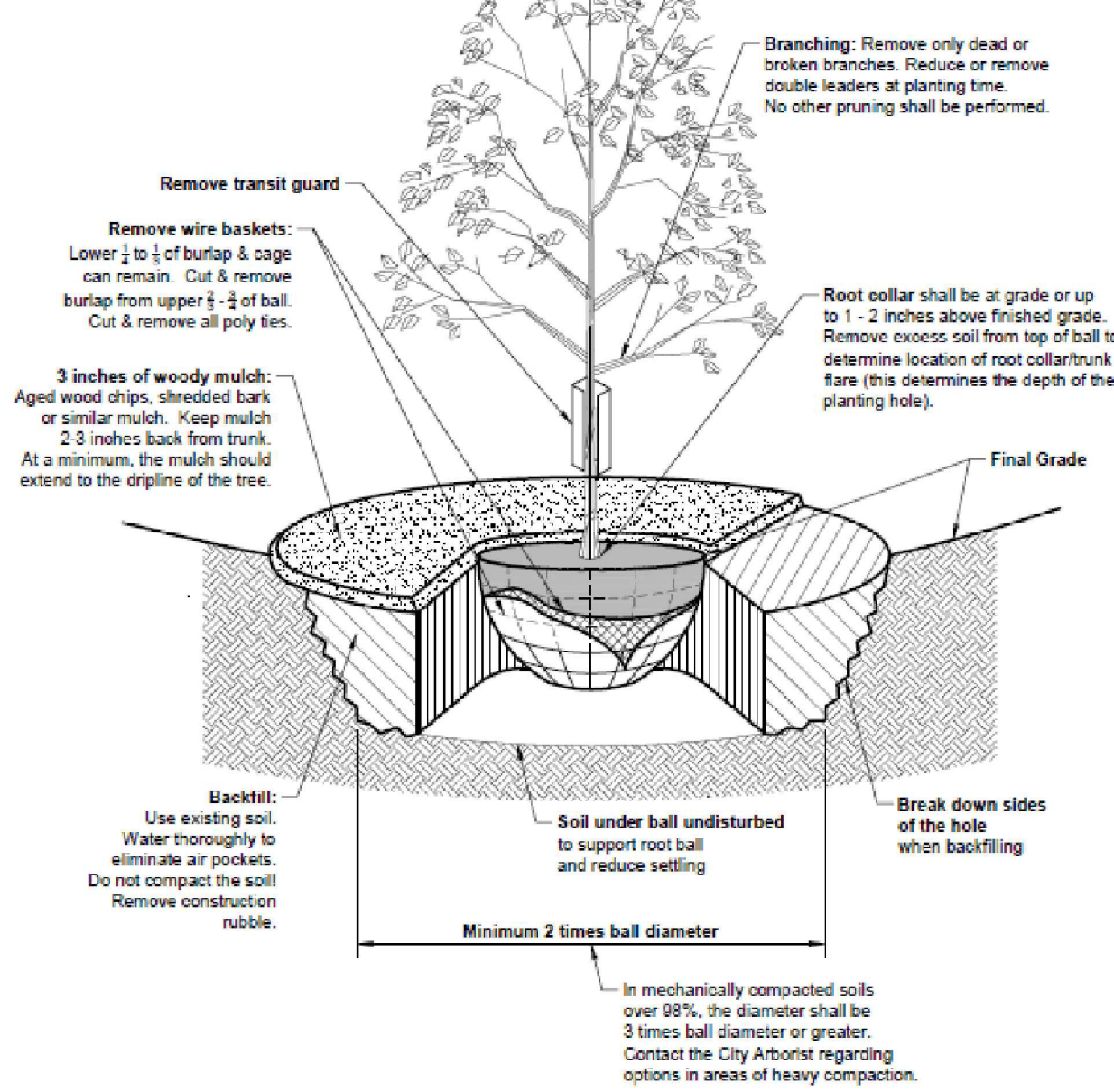
TREE PROTECTION DURING CONSTRUCTION

NTS

3

Note:
Stake only in areas where high winds or vandalism is an issue. Install stakes in undisturbed soil. Use 3" wide webbing straps (or approved alternate) and secure to stakes with heavy gauge wire. The wire should be able to stick straight out from the stake and hold the webbing strap up, preventing it from sliding down the tree. Do not stake tightly. Remove all stakes after one year.

Use of tree wrap is not recommended. If used on thin barked trees, it shall be white, breathable, expandable and removed by the contractor after one year.



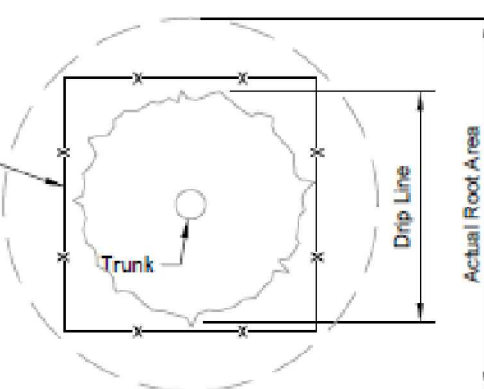
TREE PLANTING DETAIL

NTS

4

TREE PRESERVATION

Private Property Trees:

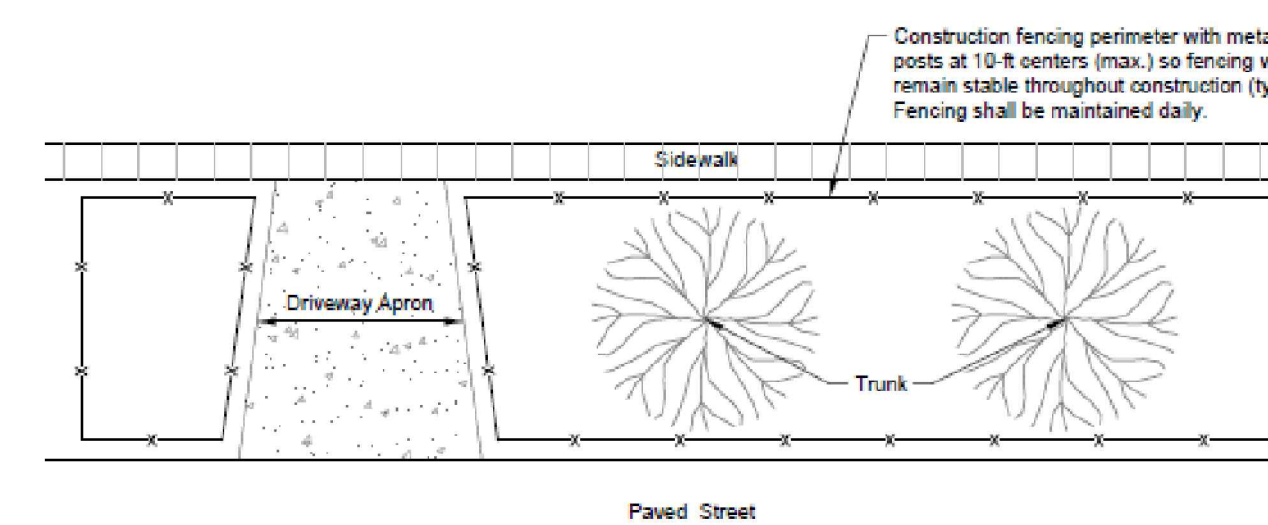


Roots of trees extend far beyond the tree's canopy. To protect these roots, place construction fence around the Root Protection Zone (RPZ) or drip line of the tree, whichever distance is greater (see detail).

The impact of construction on a tree is largely determined by the amount of space given for the tree protection area. Increasing the size of the protected area increases the chance of survival during and after construction.

Parkway Trees:

Generally root systems of parkway trees only extend from the trunk to the edge of pavement. The roots on the sidewalk side can run underneath the sidewalk and onto private property. IT IS VERY IMPORTANT TO FENCE OFF THE ENTIRE PARKWAY TO MINIMIZE DAMAGE TO THE ROOT SYSTEM OF THE TREE. See the detail below.



TREE PROTECTION FENCING DETAIL

NTS

5

ENGINEER:

DRAWING LOG

REV	DESCRIPTION OF CHANGES	DATE
A <td>SUBMITTAL TO CITY <td>01-26-2021 </td></td>	SUBMITTAL TO CITY <td>01-26-2021 </td>	01-26-2021
B <td>SUBMITTAL TO CITY <td>02-09-2021 </td></td>	SUBMITTAL TO CITY <td>02-09-2021 </td>	02-09-2021

PROJECT NAME:
TANGLEWOOD PLACE SUBDIVISION
BETTENDORF, IOWA

CLIENT NAME:
WINDMILLER DEVELOPMENT, LLC

PREPARED BY:
AXIOM CONSULTANTS, LLC
60 E. COURT STREET, UNIT 3
IOWA CITY, IOWA 52240

APPLICANT:
WINDMILLER DEVELOPMENT, LLC
P.O. BOX 809
BETTENDORF, IA 52722

OWNER:
ANNI SCHROEDER
LINDA GOLDBERMAN LYONS
4320 TANGLEWOOD ROAD
BETTENDORF, IA 52722

NOT FOR CONSTRUCTION

SHEET NO.:
LANDSCAPE PLAN

DESIGN PROFESSIONAL:
BOELK

SHEET NUMBER:
20-0149

L1.10





COMMUNITY DEVELOPMENT

City Hall Annex λ 4403 Devils Glen Road, Bettendorf, Iowa 52722 λ (563) 344-4071

February 17, 2021

Staff Report

Case No. 21-012

Subdivision Name: Tanglewood Place – Final Plat

Location: North of Tanglefoot Lane, south of Tanglewood Road, and west of Grayhawk Addition

Applicant: Windmill Development, LLC

Background Information and Facts

Windmill Development LLC has submitted the final plat of Tanglewood Place which is located west of Grayhawk Addition, north of Tanglefoot Lane, and south of Tanglewood Road (see Aerial Photo. Attachment A). The preliminary plat indicates lots for townhouses and one lot in the northeast corner for a single-family dwelling only (see Preliminary Plat – Attachment B). The size of the proposed final plat is 6.7 acres (see Final Plat - Attachment C). The site development plan reflects the building footprints of each unit (see Site Development Plan - Attachment D). The landscape plan meets the requirements of the Landscape Ordinance (see Landscape Plan - Attachment E). The structures will be 2 stories and will have front-loaded garages (see Elevations - Attachment F).

Land Use

The land use designation for the site is Urban Low Intensity which permits the R-3, Mixed Residential District zoning classification. A multi-unit townhouse design is permitted in this zoning district.

Utilities

Utility connections will come from the south along Tanglefoot Lane. The developer will provide all utility connections to the site.

Thoroughfare Plan/Access

The accesses to the site are anticipated to be from Tanglefoot Lane and Tanglewood Road.

Storm Water Detention

Storm water detention will be required for the site. Storm water storage and release will be in Outlot A. Storm water detention designs must be approved by the City Engineer prior to the issuance of building permits.

Recommended Action

Staff recommends the Planning and Zoning Commission recommend approval of the final plat subject to the following conditions:

1. Approval of the final plat does not waive any applicable city, state, or federal provisions as required by law.
2. Bank stabilization shall be required as determined by the Engineering Department.

Respectfully submitted,

Greg Beck
City Planner

February 24, 2021

Honorable Mayor and
Members of the City Council
City of Bettendorf
Bettendorf, Iowa 52722

SUBJECT: Planning and Zoning Commission's decision on the final plat of Tanglewood Place,
submitted by Windmill Development, LLC. (Case 21-012)

Planning and Zoning Commission's decision on a site development plan for
Tanglewood Place, submitted by Windmill Development, LLC. (Case 21-013)

Honorable Mayor and Members of the City Council:

On February 17, 2021, the Planning and Zoning Commission reviewed and recommended that your
Honorable Body approve the above named final plat and site development plan requests.

If you have any questions concerning this matter, please do not hesitate to contact this office.

Sincerely,

Mark D. Hunt
Director, Community Development

Final Plat/Site Development Plan

6. Case 21-012; Tanglewood Place, submitted by Windmill Development, LLC.
7. Case 21-013; Tanglewood Place (proposed), submitted by Windmill Development, LLC.

Beck reviewed the staff reports.

Adam asked if any consideration had been given to installing speed bumps on the street to attempt to control traffic. Morlok explained that there are no such plans, adding that when speed bumps were installed in the past on a trial basis they were unsuccessful in reducing traffic volume. He stated that the reconstruction of Tanglewood Road will likely begin next year, adding that he does not believe that the new street will be used as a cut-through.

Ormsby asked if sidewalks would be installed as a part of the reconstruction of Tanglewood Road. Morlok confirmed this, adding that they would be likely 10 feet wide on the north side and 6 feet wide on the south. Ormsby commented that the reconstruction project and sidewalk installation should alleviate many safety concerns.

Wennlund commented that he would not be in favor of installing speed bumps. He asked where snow will go given that no on-street parking is allowed between November 15 and March 31. Morlok explained that the street will be plowed by city crews in the same way as other city streets, adding that the snow on the driveways and sidewalks will be removed by a private contractor. He stated that the developer's contractor will use a tractor-mounted snow blower that will move the snow horizontally rather than using a snow blade to drag it back from driveways into the street. Morlok added that ultimately snow removal is the responsibility of the homeowner's association.

Wennlund recommended that some mechanism be used such as a flashing light to facilitate safer crossings across Tanglewood Road after the reconstruction is complete. Morlok stated that staff has already discussed the issue and that it is likely that a HAWK beacon similar to the one on Forest Grove Drive near the park will be installed.

On motion by Ormsby, seconded by Gannaway, that the final plat of Tanglewood Place be recommended for approval subject to staff recommendations.

ALL AYES

Motion carried.

On motion by Ormsby, seconded by Gannaway, that a site development plan for proposed Tanglewood Place be recommended for approval subject to staff recommendations.

ALL AYES

Motion carried.



MEETING DATE: March 2, 2021
REQUESTED BY: Jerry Bishop
Civil Engineer
WARD: All

Item Title:

Resolution setting the date for a public hearing and directing the advertising of bids for the 2021 Street Resurfacing Program.

Explanation:

The proposed improvements consist of pavement removal, installing granular subbase, full depth resurfacing various streets with Hot Mix Asphalt (HMA), constructing handicap accessible ramps and other related work within the City of Bettendorf, Iowa.

Relationship to Goals: Upgraded City Infrastructure & Public Facilities.

If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:

This project (PW0517) was approved with a total budget of \$650,000.00 within the Community Improvement Program.

List Attachments:

- Resolution
- Notice to Bidders
- List of Streets to be Resurfaced

RESOLUTION NO. ____-21

RESOLUTION SETTING THE DATE FOR A PUBLIC HEARING AND DIRECTING THE
ADVERTISING OF BIDS FOR THE 2021 STREET RESURFACING PROGRAM

WHEREAS, this Council deems it necessary and advisable under the provisions of the Code of Iowa to construct certain improvements to the street system of Bettendorf, Iowa, namely, the

2021 Street Resurfacing Program

as hereinafter described and has ordered plans, specifications, form of contract and engineer's estimate to be prepared and said documents are now on file in the office of the City Engineer for public inspection.

NOW, THEREFORE BE IT RESOLVED that the council will conduct a public hearing on the final adoption of the plans, specifications, notice to bidders, and form of contract for the construction of the improvements in the City Hall Council Chambers, 1609 State Street, Bettendorf, Iowa at 7:00 o'clock p.m. on the 16th day of March, 2021, and the City Clerk is hereby directed to give notice of the hearing, said notice to be published at least once as provided by law, not less than four (4) nor more than twenty (20) days before the date fixed for the hearing.

BE IT FURTHER RESOLVED that the City Engineer be authorized to receive bids for the construction of said improvements through the electronic bid submission system at <https://bettendorf.ionwave.net> until 10:00 o'clock a.m. on the 30th day of March, 2021, and the City Clerk is hereby directed to give notice to the taking of bids, said notice is to be posted in a relevant contractor plan room service with statewide circulation, a relevant construction lead generating service with statewide circulation and on the City's website with such publication to be not less than thirteen (13) days nor more than forty five (45) days before the date of the letting.

BE IT FURTHER RESOLVED that a cashier's or certified check, Credit Union Certified Share Draft, or bid bond to accompany each bid, as security, be submitted with the bid. The bidder will enter into a contract for the work bid upon and will furnish a corporate surety bond acceptable to the Council for faithful performance of the contract, in the amount of ten percent (10%) of the bid amount.

Passed, Approved and Adopted this 2nd day of March, 2021.

Robert S. Gallagher, Mayor

Attest:

Decker P. Ploehn, City Clerk

NOTICE TO BIDDERS

Sealed bids will be received by the City of Bettendorf, Iowa, through their electronic bid submission system at <https://bettendorf.ionwave.net> until **10:00 A.M.** on the **30th day of March, 2021**, for the **2021 Street Resurfacing Program** and related work as described in the plans and specifications now on file in the office of the City Clerk. Bids shall be submitted to the City Council for consideration and action at a subsequent meeting.

The proposed improvements consist of pavement removal, installing granular subbase, full depth resurfacing various streets with Hot Mix Asphalt (HMA), constructing handicap accessible ramps and other related work within the City of Bettendorf, Iowa.

The bidder to whom the Contract is awarded shall commence work no later than the date to begin work set forth in a Notice to Proceed from the City or its authorized representative, to the Contractor. All work shall be done in strict compliance with the plans and specifications prepared by the Engineer of the Engineering Division of the Public Works Department of Bettendorf, Iowa.

All work on this contract shall be completed by October 29, 2021. The beginning and completion dates will be included in and made part of the contract between the successful bidder and the City. Liquidated damages in the amount of Five Hundred Dollars and no/100 (\$500.00) per calendar day shall be charged for every day past the completion date.

The plans, specifications and all bid documents, hereinafter called proposed Contract Documents, are placed on file and are available for inspection on the City of Bettendorf's electronic bid submission website: <https://bettendorf.ionwave.net>. If you haven't already done so, you will need to register as a supplier at the website to submit a bid. All bids must be submitted electronically. No paper, emailed, or faxed bids will be accepted, and no physical bid opening shall be held. All bids will be evaluated by the City's electronic bid submission system.

Copies of the proposed Contract Documents for said improvements may be obtained with a forty eight (48) hour notice at the Engineering Division of Public Works, 4403 Devils Glen Rd., Bettendorf, Iowa by calling (563) 344-4055. Paper sets require a refundable deposit of Two Hundred Fifty Dollars (\$250.00) for each set that shall be refunded within fourteen (14) days after the award of the project. If the Contract Documents are not returned in a timely manner and in a reusable condition, the deposit, or portions thereof, may be forfeited.

Each proposal must be accompanied by a certified or cashier's check drawn on an Iowa bank or a bank chartered under the laws of the United States or by a Bid Bond with corporate surety satisfactory to the City of Bettendorf in the amount of ten (10) percent of the bid, made payable to the City Treasurer of the City of Bettendorf, Iowa, and may be cashed or claim made against the bond by the Treasurer of the City of Bettendorf, Iowa, as liquidated damages in the event the successful bidder fails to enter into a contract within ten (10) days and post bond satisfactory to the City for the faithful performance of the work. Checks or Bid Bonds of the three lowest bidders may be retained for a period of not to exceed thirty (30) days or until a contract is awarded or rejection is made, whichever is sooner. Other checks and Bid Bonds will be returned after the tabulation of the bids is completed.

The successful bidder will be required to furnish a performance and maintenance bond equal to One Hundred Percent (100%) of the contract price. Said bond is to be issued by a responsible surety approved by the City Council and shall guarantee the faithful performance of the contract and shall also guarantee

the maintenance of the improvement for a period of four (4) years from and after its completion and acceptance by the City.

Contractors and subcontractors on this project will undergo a standardized evaluation upon completion of the work. The results of this evaluation may influence the determination of the contractor's eligibility to bid on future projects as governed by the current policies adopted by the City of Bettendorf City Council.

By virtue of statutory authority, a preference will be given to products and provisions grown and coal produced within the State of Iowa and to Iowa domestic labor. A preference will be given to resident Bidders in Accordance with Chapter 73 of the Code of Iowa.

Plans and specifications governing the construction of the proposed improvements and also prior proceedings of the City Council referring to and defining said proposed improvements are hereby made a part of this notice and the proposed contract shall be executed in compliance therewith.

The City reserves the right to reject any or all proposals and to waive technicalities and irregularities if deemed necessary and approved by City Council.

Published upon order of the City Council of Bettendorf, Iowa.

Brent Morlok, P.E.
City Engineer

2021 Street Resurfacing Program List

Location	From	To	Ward
12th Street	Holmes Street	Alley S. of Brown Street	1
Custer Terrace	Holmes Street	Brown Street	1
Eddy Street	28th Street	W & S to alley	1
Wildwood Trail	Lincoln Road	N. to End of Cul-de-sac	1
Cambridge Drive	Stafford Blvd.	29th Street	3



MEETING DATE: March 2, 2021
REQUESTED BY: Jerry Bishop
Civil Engineer
WARD: 5

Item Title:

Resolution setting the date for a public hearing and directing the advertising of bids for the Middle Road Resurfacing Project from Belmont Road to Woodfield Drive.

Explanation:

The proposed improvements consist of milling the existing concrete surface, Hot Mix Asphalt (HMA) resurfacing, fixture adjustments, traffic control, and pavement markings on Middle Road between Belmont Road and Woodfield Drive within the City of Bettendorf, Iowa.

Relationship to Goals: Upgraded City Infrastructure & Public Facilities.

If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:

This project (PW0388) was approved with a total budget of \$525,000.00 within the Community Improvement Program.

List Attachments:

Resolution
Notice to Bidders

RESOLUTION NO. ____-21

RESOLUTION SETTING THE DATE FOR A PUBLIC HEARING AND DIRECTING THE
ADVERTISING OF BIDS FOR THE MIDDLE ROAD RESURFACING PROJECT FROM
BELMONT ROAD TO WOODFIELD DRIVE

WHEREAS, this Council deems it necessary and advisable under the provisions of the Code of Iowa to construct certain improvements to the street system of Bettendorf, Iowa, namely, the

Middle Road Resurfacing Project from Belmont Road to Woodfield Drive

as hereinafter described and has ordered plans, specifications, form of contract and engineer's estimate to be prepared and said documents are now on file in the office of the City Engineer for public inspection.

NOW, THEREFORE BE IT RESOLVED that the council will conduct a public hearing on the final adoption of the plans, specifications, notice to bidders, and form of contract for the construction of the improvements in the City Hall Council Chambers, 1609 State Street, Bettendorf, Iowa at 7:00 o'clock p.m. on the 16th day of March, 2021, and the City Clerk is hereby directed to give notice of the hearing, said notice to be published at least once as provided by law, not less than four (4) nor more than twenty (20) days before the date fixed for the hearing.

BE IT FURTHER RESOLVED that the City Engineer be authorized to receive bids for the construction of said improvements through the electronic bid submission system at <https://bettendorf.ionwave.net> until 10:00 o'clock a.m. on the 30th day of March, 2021, and the City Clerk is hereby directed to give notice to the taking of bids, said notice is to be posted in a relevant contractor plan room service with statewide circulation, a relevant construction lead generating service with statewide circulation and on the City's website with such publication to be not less than thirteen (13) days nor more than forty five (45) days before the date of the letting.

BE IT FURTHER RESOLVED that a cashier's or certified check, Credit Union Certified Share Draft, or bid bond to accompany each bid, as security, be submitted with the bid. The bidder will enter into a contract for the work bid upon and will furnish a corporate surety bond acceptable to the Council for faithful performance of the contract, in the amount of ten percent (10%) of the bid amount.

Passed, Approved and Adopted this 2nd day of March, 2021.

Robert S. Gallagher, Mayor

Attest:

Decker P. Ploehn, City Clerk

NOTICE TO BIDDERS

Sealed bids will be received by the City of Bettendorf, Iowa, through their electronic bid submission system at <https://bettendorf.ionwave.net> until **10:00 A.M.** on the **30th day of March, 2021**, for the **Middle Road Resurfacing – Belmont Road to Woodfield Drive**, and related work as described in the plans and specifications now on file in the office of the City Clerk. Bids shall be submitted to the City Council for consideration and action at a subsequent meeting.

The proposed improvements consist of milling the existing concrete surface, Hot Mix Asphalt (HMA) resurfacing, fixture adjustments, traffic control, and pavement markings on Middle Road between Belmont Road and Woodfield Drive within the City of Bettendorf, Iowa.

The bidder to whom the Contract is awarded shall commence work no later than the date to begin work set forth in a Notice to Proceed from the City or its authorized representative, to the Contractor. All work shall be done in strict compliance with the plans and specifications prepared by the Engineer of the Engineering Division of the Public Works Department of Bettendorf, Iowa.

All work on this contract shall be completed by July 16, 2021. The beginning and completion dates will be included in and made part of the Contract. Said completion date will be used as the Contract Completion Date, where after liquidated damages in the amount of Five Hundred Dollars and No Cents (\$500.00) per calendar day may be recovered by the City.

The plans, specifications and all bid documents, hereinafter called proposed Contract Documents, are placed on file and are available for inspection on the City of Bettendorf's electronic bid submission website: <https://bettendorf.ionwave.net>. If you haven't already done so, you will need to register as a supplier at the website to submit a bid. All bids must be submitted electronically. No paper, emailed, or faxed bids will be accepted, and no physical bid opening shall be held. All bids will be evaluated by the City's electronic bid submission system.

Copies of the proposed Contract Documents for said improvements may be obtained with a forty eight (48) hour notice at the Engineering Division of Public Works, 4403 Devils Glen Rd., Bettendorf, Iowa by calling (563) 344-4055. Paper sets require a refundable deposit of Two Hundred Fifty Dollars (\$250.00) for each set that shall be refunded within fourteen (14) days after the award of the project. If the Contract Documents are not returned in a timely manner and in a reusable condition, the deposit, or portions thereof, may be forfeited.

Each proposal must be accompanied by a certified or cashier's check drawn on an Iowa bank or a bank chartered under the laws of the United States or by a Bid Bond with corporate surety satisfactory to the City of Bettendorf in the amount of ten (10) percent of the bid, made payable to the City Treasurer of the City of Bettendorf, Iowa, and may be cashed or claim made against the bond by the Treasurer of the City of Bettendorf, Iowa, as liquidated damages in the event the successful bidder fails to enter into a contract within ten (10) days and post bond satisfactory to the City for the faithful performance of the work. Checks or Bid Bonds of the three lowest bidders may be retained for a period of not to exceed thirty (30) days or until a contract is awarded or rejection is made, whichever is sooner. Other checks and Bid Bonds will be returned after the tabulation of the bids is completed.

The successful bidder will be required to furnish a performance and maintenance bond equal to One Hundred Percent (100%) of the contract price. Said bond is to be issued by a responsible surety approved by the City Council and shall guarantee the faithful performance of the contract and shall also guarantee

the maintenance of the improvement for a period of four (4) years from and after its completion and acceptance by the City.

Contractors and subcontractors on this project will undergo a standardized evaluation upon completion of the work. The results of this evaluation may influence the determination of the contractor's eligibility to bid on future projects as governed by the current policies adopted by the City of Bettendorf City Council.

By virtue of statutory authority, a preference will be given to products and provisions grown and coal produced within the State of Iowa and to Iowa domestic labor. A preference will be given to resident Bidders in Accordance with Chapter 73 of the Code of Iowa.

Plans and specifications governing the construction of the proposed improvements and also prior proceedings of the City Council referring to and defining said proposed improvements are hereby made a part of this notice and the proposed contract shall be executed in compliance therewith.

The City reserves the right to reject any or all proposals and to waive technicalities and irregularities if deemed necessary and approved by City Council.

Published upon order of the City Council of Bettendorf, Iowa.

Brent Morlok, P.E.
City Engineer



MEETING DATE: March 2, 2021
REQUESTED BY: Mark Garrow
Transit/Garage Manager
WARD: All

<p>Item Title:</p> <p>Resolution setting the date for a public hearing on the FY2022 application for State Transit Assistance funds for Transit System Operations.</p>
<p>Explanation:</p> <p>Each year, State Transit Assistance funds are available to the City of Bettendorf to support transit system operations. A grant application must be submitted in order to obtain this funding. The FY2022 State funding allocation for Bettendorf is estimated to be \$224,951.62 and the grant period will begin on July 1, 2021. These funds help the City continue providing a quality, responsive transit service to the citizens of Bettendorf.</p> <p>The State requires a public hearing be held to allow persons the opportunity to speak in favor of, or in opposition to the grant application. The public hearing notice is to be published at least thirty (30) days prior to the public hearing.</p>
<p>If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:</p> <p>List Attachments: Resolution</p>

RESOLUTION NO: _____-21

RESOLUTION SETTING THE DATE FOR A PUBLIC HEARING ON THE FY2022 APPLICATION
FOR STATE TRANSIT ASSISTANCE FUNDS FOR TRANSIT SYSTEM OPERATIONS

WHEREAS, the State of Iowa Office of Public Transit requires a public hearing to allow persons the opportunity to speak in favor of, or in opposition to, the submission of a grant.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA, that the Council will conduct a public hearing on the advisability of submitting an application for State of Iowa Transit Operating Assistance in the amount of \$224,951.62 to be used for operational needs of the Bettendorf Transit System, in the Council Chambers of Bettendorf City Hall, 1609 State Street, Bettendorf, Iowa at 7:00 o'clock PM, Central Daylight Time, on the 6th day of April, 2021 and the City Clerk is hereby instructed to give notice of said hearing, said notice is to be published at least once as provided by law, not less than (30) thirty days before the date of the hearing.

Passed, Approved, and Adopted this 2nd day of March, 2021.

Robert S. Gallagher, Mayor

Attest:

Decker P. Ploehn, City Clerk



MEETING DATE: March 2, 2021
REQUESTED BY: Brent O. Morlok, P.E.
City Engineer
WARD: 1

Item Title:

Resolution authorizing the Director of Public Works to issue a purchase order to Davenport Electric Contract Company for the 23rd Street and Grant Street traffic signal reconstruction.

Explanation:

The traffic signals at the intersection of 23rd Street and Grant Street are programmed to be replaced during the 2021 construction season. Similar to the recently reconstructed signals at 18th Street and Grant Street, the existing single Type A signals will be replaced with standard signal poles and mast arms to provide for better visibility. As is standard with City traffic projects, the City purchases the materials directly and will then contract out the labor for the installation.

Two (2) proposals were solicited and Davenport Electric Contract Company of Davenport, Iowa was the only bid received in the amount of \$38,606.79.

Relationship to Goals: Upgraded Public Facilities.

If the matter is not budgeted in the current year, explain why funding is requested and the anticipation:

This project (CD0101) was approved with a total budget of \$150,000.00 within the Community Improvement Program.

List Attachments:

- Resolution
- Quote

RESOLUTION AUTHORIZING THE DIRECTOR OF PUBLIC WORKS TO ISSUE A PURCHASE ORDER TO DAVENPORT ELECTRIC CONTRACT COMPANY FOR THE 23RD STREET AND GRANT STREET TRAFFIC SIGNAL RECONSTRUCTION

WHEREAS, the City's purchasing policies require that any contract purchases in the amount of \$25,000 or greater be approved by a City Council resolution; and

WHEREAS, the reconstruction of this traffic signal is a key component of maintaining and enhancing the City's traffic signal network; and

WHEREAS, a minimum of two quotes were solicited and Davenport Electric Contract Company has submitted the lowest quote amount which is consistent with the City's purchasing policies.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Bettendorf, Iowa, that the Director of Public Works is authorized to purchase traffic signal mast arms from Davenport Electric Contract Company in the amount of \$38,606.79.

Passed, Approved and Adopted this 2nd day of March, 2021.

Robert S. Gallagher, Mayor

Attest:

Decker P. Ploehn, City Clerk

#Nam
☰



**davenport
electric**
contract company

PROPOSAL SUBMITTED TO City of Bettendorf		PHONE (563) 594-9363	DATE 01-Feb-21
STREET		JOB NAME	
CITY Bettendorf	STATE IA	ZIP CODE 52722	JOB LOCATION 23rd at Grant
ATTENTION Casey Hoffman	Email Address choffman@bettendorf.orf	EST # 21-11328	FAX NUMBER

We hereby submit specifications and estimates for:

- Furnish labor and equipment to install new traffic signal equipment per attached scope of work.
1. Supply concrete, cages and concrete forming material.
 2. Haul all dirt spoils and concrete off site. \$1200.00 "included in base bid"
 3. Per hourly rate for additions and changes is \$85.00 per person per hour.

We Propose hereby to furnish material and labor--complete in accordance with above specifications, for the sum of.

Thirty-eight thousand six hundred six and 79/100----- dollars \$38,606.79

Payment to be made as follows. Net 30 days.

All material is guaranteed to be as specified, all work to be completed in a workmanlike manner according to standard practices. Any alteration of deviation from above specifications involving extra costs, will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents, or delays beyond our control. Owner to carry fire, tornado, and other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance. SERVICE or FINANCE CHARGES are applicable on past due accounts at the rate of 1-1/2% per month on amounts 30 days past due, which is equal to an ANNUAL PERCENTAGE RATE OF 18%. Such charges are shown as "SERVICE CHARGE". There is no SERVICE CHARGE if accounts are paid within 30 days of the end of the month in which purchases are made.

Authorized Signature Paul McIntosh, Est.

NOTE: This proposal may be withdrawn by us if not accepted within 30 days

Acceptance of Proposal The above prices, specifications,

and conditions are satisfactory and are hereby accepted. You are authorized

to do the work as specified. Payment will be as outlined above

Date of Acceptance _____

Signature _____

Signature _____

Email: davenportelectric@davenportelectric.com

529 Pershing Ave., P.O. Box 4229, Davenport, Iowa 52808 ■ Phone: 563/326-6475 ■ Fax: 563/326-6477



MEETING DATE: March 2, 2021
REQUESTED BY: Brent Morlok, P.E.
City Engineer
WARD: 1

Item Title:

Resolution approving a lease renewal agreement between the City of Bettendorf and Helm Group (Civil Constructors, Inc.) for the property located at 125 13th Street (Public Works South).

Explanation:

The City was approached prior to the bid lettings for the I-74 Bridge project by several contractors interested in utilizing the property at 125 13th Street (Public Works South) for a staging area if they were awarded the contract. The existing building was only being utilized for storage by various Public Works divisions. Ultimately, the City desires to demolish the building and market the property for development given its immediate vicinity to the new bridge. Helm Group (Civil Constructors, Inc.) was awarded the Westbound (Iowa) Viaduct portion of the project and agreed to demolish the building, completely remove the foundation and grade the property following completion of their project in exchange for the rights to utilize the building and property during construction.

As part of that initial lease, a renewal option was included if mutually agreed upon by both entities in the event that Helm Group (Civil Constructors, Inc.) was awarded the contract for the Eastbound (Illinois) Viaduct project. All terms and conditions from the initial lease agreement remain in place, with Helm Group (Civil Constructors, Inc.) agreeing to terminating occupancy no later than April 30, 2022 and demolition and site grading completed no later than July 1, 2022. An additional renewal option is also included in this agreement if Helm Group (Civil Constructors, Inc.) is awarded the bridge demolition contract. That must be mutually agreed upon as well.

Staff recommends renewal of the lease agreement given there are no current development projects that have been brought to the City in the surrounding vicinity.

Relationship to Goals: Upgraded City Infrastructure & Public Facilities.

If the matter is not budgeted in the current year, explain why funding is requested and the anticipation:

There is no funding required as part of this agreement.

List Attachments:

- Resolution
- Lease Renewal Agreement

RESOLUTION APPROVING A LEASE RENEWAL AGREEMENT BETWEEN THE CITY OF BETTENDORF AND HELM GROUP (CIVIL CONSTRUCTORS, INC.) FOR THE PROPERTY LOCATED AT 125 13TH STREET (PUBLIC WORKS SOUTH)

WHEREAS, the City of Bettendorf desires to demolish the building located at 125 13th Street and market the property for development, and

WHEREAS, Civil Constructors, Inc. has agreed to demolish and grade the property in exchange for their use of the property during construction of the Eastbound (Illinois) Viaduct project.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BETTENDORF, IOWA that the Mayor be authorized to sign the lease renewal agreement between the City of Bettendorf and Civil Constructors, Inc. for the property located at 125 13th Street.

Passed, Approved and Adopted this 2nd day of March, 2021.

Robert S. Gallagher, Mayor

Attest:

Decker P. Ploehn, City Clerk

The City of Bettendorf and Helm Group, Inc.

Jointly agree that:

1. Helm Group, Inc. may occupy the buildings and property owned by the City of Bettendorf generally located at 125 13th Street (Public Works South) to facilitate construction of the Eastbound Viaduct (Iowa Department of Transportation Project 200).
2. Helm Group, Inc. shall pay for all electric usage beginning at the date of building occupancy. The City of Bettendorf will bill Helm Group, Inc. on a six (6) month basis.
3. The City of Bettendorf has completed an asbestos abatement study and determined that remediation will be necessary prior to demolition of the buildings. The City of Bettendorf shall provide the asbestos remediation at their sole cost.
4. Helm Group, Inc., upon completion of the aforementioned projects, shall at their sole cost demolish the buildings, foundations, and completely remove all materials and debris from the site.
5. Helm Group, Inc., upon completion of the aforementioned projects, shall at their sole cost ensure that all utilities to the buildings are properly disconnected and removed from the site.
6. Helm Group, Inc., upon completion of the demolition and utility disconnects, shall at their sole cost provide all fill dirt material and grade the site to an agreed upon layout. The layout shall be approved by the City Engineer.
7. Helm Group, Inc. shall terminate occupancy no later than April 30, 2022. Demolition, utility disconnects and site grading shall be completed no later than July 1, 2022.
8. This agreement may be extended upon mutual agreement by the City of Bettendorf and Helm Group, Inc. in the event Helm Group, Inc. is awarded future Iowa Department of Transportation contracts related to the demolition of the existing I-74 Mississippi River Bridge.
9. Helm Group, Inc. takes the premises "as is" except as herein provided. Helm Group, Inc. shall maintain the premises in a reasonably safe and serviceable condition.
10. Except for any negligence of the City of Bettendorf, Civil Constructor's, Inc. will protect, defend, and indemnify the City of Bettendorf from and against any and all loss, costs, damage and expenses occasioned by, or arising out of, any accident or other occurrence causing or inflicting injury or damage to any person or property, happening or done in, upon or about the premises, or due directly or indirectly to the tenancy, use or occupancy thereof, or any part thereof by Helm Group, Inc. or any person claiming through or under Civil Contractor's, Inc.
11. **Assignment and Subletting.** No assignment or subletting, either voluntary or by operation of law, shall be effective without the prior written consent of the City of Bettendorf, which consent shall not unreasonably be withheld.

12. Provisions Binding. Each and every covenant and agreement herein shall extend to and be binding upon the respective successors, heirs, administrators, executors, and assigns of the parties hereto.

Signed:

Helm Group, Inc.: _____
(Name/Title)

Date: _____

City of Bettendorf: _____
(Name/Title)

Date: _____



COUNCIL LETTER

MEETING DATE: March 2, 2021

REQUESTED BY: Keith Kimball

ITEM TITLE: (Please use same title as it will appear on your resolution.)

Resolution approving the purchase of one (1) 2021 Ford F150 from Kunes Ford located in East Moline, IL for \$31,894.28.

Explanation (Background & How it Responds to Vision, Mission or Goals)

During the budget process, the police department identified one detective/support service vehicle that needed replacement. The replacement of this vehicle was original deferred earlier in the year due to Covid related budget concerns.

Council originally approved the purchase of a 2021 Chevrolet Silverado from Karl Chevrolet on January 19th, 2021 under resolution 16-21. Karl Chevrolet was unable to fill the order due to changes in GM manufacturing dates and ordering guidelines. Two local Chevrolet dealers who had also provided bids were also not able to deliver the vehicle. That vehicle order has been cancelled.

Quotes were obtained from multiple local Ford dealers for a 2021 Ford F-150. Kunes Country Ford of East Moline was the lowest quote with a price of \$31,894.28.

If the matter is not budgeted in the current year, explain why funding is requested and the anticipated source:

Vehicle replacement budgeted in the 2020-2021 budget year.

List Attachments

- Resolution
- Quotes

RESOLUTION NO. - 21

Resolution Approving the Purchase of One (1) 2021 Chevrolet Silverado

BE IT RESOLVED by the City Council of the City of Bettendorf, Iowa, that the Chief of Police is authorized to purchase one (1) 2021 Ford F150 from Kunes Ford located in East Moline, IL for \$31,894.28.

PASSED, APPROVED, and ADOPTED this 2nd day of March, 2021.

Robert S. Gallagher, Mayor

ATTEST:

Decker P. Ploehn, City Clerk

CITY OF BETTENDORF

CNGP530

VEHICLE ORDER CONFIRMATION

02/24/21 10:28:34

Dealer: F41202

Page: 1 of 2

Order No: 0224 Priority: E2 Ord FIN: QD669 Order Type: 5B Price Level: 130
 Ord Code: 101A Cust/Flt Name: CITYOFBETT1 PO Number:

	RETAIL	DLR INV	RETAIL	DLR INV
W1E F150 4X4 CREW	\$40160	\$38352.00	FLEET SPCL ADJ	NC \$(520.00)
145" WHEELBASE			FRT LICENSE BKT	NC NC
YZ OXFORD WHITE			425 50 STATE EMISS	NC NC
C CLOTH 40/20/40			53B CLASS IV HITCH	205 186.00
S MED DARK SLATE			86A XL CHROME PKG	775 706.00
101A EQUIP GRP	920	837.00	.CHROME BUMPERS	
.XL SERIES				
.POWER EQUIP GRP			TOTAL BASE AND OPTIONS	43755 38732.28
.CRUISE CONTROL			XL HIGH DISCOUNT	(750) (683.00)
.REV SENSING SYS			XL HIGH DISCT CHROME	(500) (455.00)
99B 3.3L V6 PFDI			TOTAL	42505 37594.28
44G ELEC 10-SPDAUTO			*THIS IS NOT AN INVOICE*	
.265/70R-17				
X26 3.73 REG AXLE	NC	NC	* MORE ORDER INFO NEXT PAGE *	
6470# GVWR			F8=Next	

F1=Help F2=Return to Order F3/F12=Veh Ord Menu
 F4=Submit F5=Add to Library
 S006 - MORE DATA IS AVAILABLE. QC005231

MSRP \$42,505.00

YOUR COST \$ 37,594.28
 GPC DISCOUNT \$ - 5,700.00

\$ 31,894.28

PLUS TITLE & LICENSE FEES AND

NO ADDITIONAL FEES

- SEE EMAIL

Kunes -
EAST MOUNE

Pg 1 of 1

Champion, Andrew

From: Dan Johnson <dan.johnson@kunescountry.com>
Sent: Wednesday, February 24, 2021 12:37 PM
To: Champion, Andrew
Subject: Re: Police Interceptor Bid

Andrew if you take care of all of them yourselves there would not be any additional fees.
Thanks again for the opportunity.

On Wed, Feb 24, 2021 at 10:01 AM Champion, Andrew <achampion@bettendorf.org> wrote:

Dan,

I do need to know what the title and other fees are, the other dealers are not including those as separate lines and they would be added to the price. We obviously don't pay license fees or temp plates as we are a government entity.

Please confirm either way.

Thanks

Sgt. Andrew Champion, #4099/304

Traffic Division

Bettendorf Police Department

1609 State Street

Bettendorf, IA 52722

Desk: 563-344-4471

achampion@bettendorf.org

From: Dan Johnson <dan.johnson@kunescountry.com>
Sent: Wednesday, February 24, 2021 9:38 AM
To: Champion, Andrew <achampion@bettendorf.org>
Subject: Re: Police Interceptor Bid

Here you go Andrew. Sorry if you didn't get it before.

VIRT01DP #

CNGP530

VEHICLE ORDER CONFIRMATION

02/23/21 13:38:32

Dealer: F41201

Page: 1 of 2

Order No: B111 Priority: E2 Ord FIN: QD669 Order Type: 5B Price Level: 130
Ord PEP: 101A Cust/Flt Name: BETTF150 PO Number:

		RETAIL	DLR INV		RETAIL	DLR INV
W1E	F150 4X4 CREW	\$40160	\$38352.00		FLEET SPCL ADJ	NC \$(520.00)
	145" WHEELBASE				FRT LICENSE BKT	NC NC
YZ	OXFORD WHITE			425	50 STATE EMISS	NC NC
C	CLOTH 40/20/40			53B	CLASS IV HITCH	205 186.00
S	MED DARK SLATE			86A	XL CHROME PKG	775 706.00
101A	EQUIP GRP	920	837.00		.CHROME BUMPERS	
	.XL SERIES					
	.POWER EQUIP GRP				TOTAL BASE AND OPTIONS	43755 38732.28
	.CRUISE CONTROL				XL HIGH DISCOUNT	(750) (683.00)
	.REV SENSING SYS				XL HIGH DISCT CHROME	(500) (455.00)
99B	3.3L V6 PFDI				TOTAL	42505 37594.28
44G	ELEC 10-SPDAUTO				*THIS IS NOT AN INVOICE*	
	.265/70R-17					
X26	3.73 REG AXLE	NC		NC	* MORE ORDER INFO NEXT PAGE *	
	6470# GVWR				F8=Next	

F1=Help F2=Return to Order F3/F12=Veh Ord Menu
F4=Submit F5=Add to Library
S006 - MORE DATA IS AVAILABLE. QC20051

V1DP0412

2,6

*\$37,700
- \$5,700 discount*

\$32,000



STEVEN GALANIUS
SALES & LEASING

DAHL FORD 1310 EAST KIMBERLY RD. DAVENPORT, IOWA 52807
563-391-2600 CELL 563-505-1524 FAX 563-391-6741
STEVEN.GALANIUS@DAHLFORD.US
WWW.DAHLFORD.COM

*DAHL FORD
DAVENPORT*

VIRTG1DP 

CNGP530 VEHICLE ORDER CONFIRMATION

02/23/21 13:38:45

==>

Dealer: F41201

2021 F-150

Page: 2 of 2

Order No: B111 Priority: E2 Ord FIN: QD669 Order Type: 5B Price Level: 130

Ord PEP: 101A Cust/Flt Name: BETTF150 PO Number:

RETAIL DLR INV

RETAIL DLR INV

.FOG LAMPS

.17" SILVER ALUM

FLEX FUEL

SP DLR ACCT ADJ (1418.00)

SP FLT ACCT CR (1121.00)

FUEL CHARGE 8.28

B4A NET INV FLT OPT NC 7.00

DEST AND DELIV 1695 1695.00

TOTAL BASE AND OPTIONS 43755 38732.28

XL HIGH DISCOUNT (750) (683.00)

XL HIGH DISCT CHROME (500) (455.00)

TOTAL 42505 37594.28

THIS IS NOT AN INVOICE

F7=Prev

F3/F12=Veh Ord Menu

F1=Help

F2=Return to Order

F4=Submit

F5=Add to Library

S099 - PRESS F4 TO SUBMIT

QC20051

V1DP0412

2,6

Pg # 2 of 2

CNGP530

VEHICLE ORDER CONFIRMATION

02/22/21 11:41:11

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Dealer: F41206

2021 F-150

Page: 1 of 1

Order No: 0002 Priority: E2 Ord FIN: QC104 Order Type: 5B Price Level: 130

Ord PEP: 101A Cust/Flt Name: BETTENDORF PO Number:

RETAIL

RETAIL

W1E F150 4X4 CREW \$40160

FLEET SPCL ADJ NC

145" WHEELBASE

FRT LICENSE BKT NC

YZ OXFORD WHITE

425 50 STATE EMISS NC

C CLOTH 40/20/40

53B CLASS IV HITCH 205

S MED DARK SLATE

86A XL CHROME PKG 775

L01A EQUIP GRP 920

.CHROME BUMPERS

.XL SERIES

TOTAL BASE AND OPTIONS 43755

.POWER EQUIP GRP

XL HIGH DISCOUNT (750)

.CRUISE CONTROL

XL HIGH DISCT CHROME (500)

.REV SENSING SYS

TOTAL 42505

99B 3.3L V6 PFDI

THIS IS NOT AN INVOICE

44G ELEC 10-SPDAUTO

.265/70R-17

X26 3.73 REG AXLE NC

* MORE ORDER INFO NEXT PAGE *

6470# GVWR

F8=Next

CNGP530

VEHICLE ORDER CONFIRMATION

02/22/21 11:41:23

==>

Dealer: F41206

2021 F-150

Page: 2 of 2

Order No: 0002 Priority: E2 Ord FIN: QC104 Order Type: 5B Price Level: 130

Ord PEP: 101A Cust/Flt Name: BETTENDORF PO Number:

RETAIL

RETAIL

.FOG LAMPS

.17" SILVER ALUM

FLEX FUEL

SP DLR ACCT ADJ

SP FLT ACCT CR

FUEL CHARGE

B4A NET INV FLT OPT NC

DEST AND DELIV 1695

\$ 31,994.⁰⁸

BETTENDORF
LINDQUIST

Pg 1 of 1

TOTAL BASE AND OPTIONS 43755

(L HIGH DISCOUNT (750)

(L HIGH DISCT CHROME (500)

TOTAL 42505

THIS IS NOT AN INVOICE

Prepared for:

City of Bettendorf Police Dept

Prepared by: Gerry Swan

02/24/2021



Courtesy Ford Trucks | 3921 West River Drive Davenport Iowa | 528022415

2021 F-150 4x4 SuperCrew Cab Styleside 5.5' box 145" WB XL (W1E)

Price Level: 130 | Quote ID: Bettendor

Pricing Summary - Single Vehicle

Vehicle Pricing

MSRP

\$42,505.00

DISC - 10,411

32,094

PLUS TAX, TITLES, FEE

Customer Signature

Acceptance Date

Prices and content availability as shown are subject to change and should be treated as estimates only. Actual base vehicle, package and option pricing may vary from this estimate because of special local pricing, availability or pricing adjustments not reflected in the dealer's computer system. See salesperson for the most current information.



MEETING DATE: March 2, 2021

COUNCIL LETTER

REQUESTED BY: Chris Curran

VISION:

THE CITY OF BETTENDORF IS A PREMIER PLACE IN WHICH TO LIVE. THE CITY OF BETTENDORF IS THE MOST LIVABLE COMMUNITY FOR FAMILIES WITH RICH EDUCATIONAL, CULTURAL, AND RECREATIONAL OPPORTUNITIES WHERE WE ENJOY A VIBRANT RIVERFRONT AND A GROWING COMPETITIVE BUSINESS ENVIRONMENT. WE TAKE PRIDE IN OUR GREAT COMMUNITY.

ITEM TITLE:

RESOLUTION SETTING THE DATE FOR A PUBLIC HEARING FOR REQUEST FOR DESIGNATION AS FOREST COVERS FOR A PORTION OF PROPERTY LOCATED AT 8822 WELLS FERRY ROAD TO QUALIFY FOR TAX EXEMPTION.

EXPLANATION (Background & How it Responds to Vision, Mission or Goals):

The Council has approved a policy on land set aside for conservation purposes. Gary and Elizabeth Fincher request property they own receive that designation. Pursuant to the policy, the council is asked to set a public hearing on the matter and send notice to adjacent property owners.

If approved, tax revenues from the property so designated will end.

ATTACHMENTS:

- Resolution (SPH)
- Resolution
- Letter from Scott County
- Application
- Aerial Photo
- Policy

RESOLUTION _____ - 21

**RESOLUTION SETTING THE DATE FOR A PUBLIC HEARING FOR
REQUEST FOR DESIGNATION AS FOREST COVERS FOR A
PORTION OF PROPERTY LOCATED AT 8822 WELLS FERRY ROAD
TO QUALIFY FOR TAX EXEMPTION**

BE IT RESOLVED by the City Council of the City of Bettendorf, Iowa, that a public hearing be set for 16th day of March, 2021, at 7:00 p.m. in the Council Chambers at City Hall, 1609 State Street, Bettendorf, to receive public comment on the request of the property owner at 8822 Wells Ferry Road to classify a portion of property they own within the city as forest covers and qualify as tax exempt.

BE IT FURTHER RESOLVED that the City Clerk is directed to mail notice of this request to all property owners within 200 feet of the subject property, as well as to the property owners, Gary and Elizabeth Fincher.

PASSED, APPROVED AND ADOPTED this 2nd day of March, 2021.

Robert S. Gallagher, Mayor

ATTEST:

Decker P. Ploehn, City Clerk

RESOLUTION _____ - 21

**APPROVING REQUEST FOR TAX EXEMPTION FOR
8822 WELLS FERRY ROAD**

WHEREAS, the owners of property located at 8822 Wells Ferry Road have requested to have a portion of their property designated as tax exempt; and

WHEREAS, pursuant to policy adopted by the City Council, the Council has held a public hearing on the request, and considered the comments of adjoining properties, if any.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Bettendorf, Iowa, said request is hereby approved.

PASSED, APPROVED AND ADOPTED this 16th day of March, 2021.

Robert S. Gallagher, Mayor

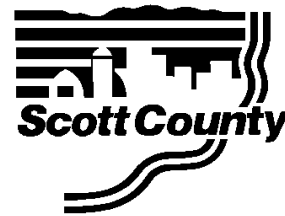
ATTEST:

Decker P. Ploehn, City Clerk

OFFICE OF THE COUNTY ADMINISTRATOR

600 West Fourth Street
Davenport, Iowa 52801-1187

Ph: (563) 326-8702 Fax: (563) 328-3285
www.scottcountyiowa.gov



February 12, 2021

Mayor Robert Gallagher
Bettendorf City Hall
1609 State Street
Bettendorf, Iowa 52722

Dear Mayor Gallagher:

The Board of Supervisors approved the implementation of the Slough Bill on March 29, 1990. The Slough Bill provisions allow exemptions for wetlands, recreational lakes, forest cover, forest reservations, rivers and streams, river and stream banks, wildlife habitat, native prairies and open prairies.

The resolution states that the Board will not consider exemptions for otherwise qualifying real property when it is located within the corporate limits of any municipality until the city council of that municipality first gives approval to the exemption request. We have received a request **Marilyn Leonard** for Parcels #943607101 and #943607102 representing a total of 6.5 acres, a request from **Gary Fincher** for Parcels #943607006 and #943607007 representing a total of 10.7 acres, request from **Jim and Judy Tully** for Parcel #841017204 representing a total of 10.7 acres, and a request from **Chad Miller** for Parcel #8414172032 for 4.3 acres. The exemption requests are enclosed for your city council's review and consideration.

Please notify me once the Bettendorf City Council has taken action on these exemption requests. Contact Tom McManus, Scott County Assessor, should additional information be needed at 563-326-8635.

Sincerely,

A handwritten signature in cursive script that reads "Renee C. Luze-Johnson".

Renee Luze-Johnson
Executive Assistant
renee.luze-johnson@scottcountyiowa.gov

cc: Tom McManus, County Assessor
Property Owners



Property Tax

CITY OF BETTENDORF

Natural Conservation and Wildlife Areas Property Tax Exemption

Iowa Code section 427.1(22)

This application must be filed or postmarked to your local soil and water conservation district by February 1 of each year. Iowa conservation district addresses can be found at the Conservation Districts of Iowa website: (cdiowa.org).

Property Information – Please Print

Parcel number: 943607006, 943607007 (forest cover) 4.52 ACRES + 6.18 ACRES.

Owner: Gary & Elizabeth Fincher

Property location address: _____

City: _____ State: _____ ZIP: _____

Property owner mailing address: 8822 Wells Ferry Rd.

City: Bettendorf State: IA ZIP: 52722

County: Scott Number of acres: 10.7 acres

Phone: 563-349-9400 Email: garydonfincher@gmail.com

Applicant if other than owner – Please Print

Name: _____

Applicant mailing address: _____

City: _____ State: _____ ZIP: _____

Phone: _____ Email: _____

Relationship to owner: _____

Property type:

Recreational lakes Rivers and streams Forest covers

Open prairies River and stream banks Section 427.1(22)(g) property

An aerial photo of the property on which the property to be exempted is outlined:

Is included: On file:

If the property is a gully area susceptible to erosion, an erosion control map approved by the soil and conservation district commissioners: Is included On file

I Gary and Elizabeth Fincher swear or affirm that the above property will not be used for economic gain of any kind during the assessment year.

Applicant Signature: Gary Fincher Elizabeth C. Fincher Date: 12/9/2020

OFFICE USE ONLY

I hereby certify that the property described above is eligible to receive the exemption claimed.

Signed: [Signature] Date: _____

Chairman, Scott County Soil and Water Conservation District

This open prairie property has been inspected and certified as having adequate ground cover consisting of native species, and that all primary and secondary noxious weeds present are being controlled to prevent the spread of seeds by either wind or water.

Signed: _____ Date: _____

Chairman, _____ County Board of Supervisors

CA

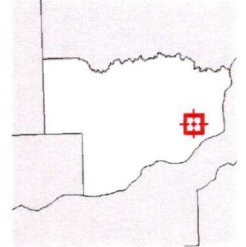


Scott County / City of Davenport, Iowa

943607006 & 943607007



Overview



POLICY ON APPROVAL OF TAX EXEMPTIONS FOR NATURAL CONSERVATION AND WILDLIFE AREAS

WHEREAS, the Iowa Code (427.1) allows certain real estate to be maintained in tax exempt status when certain conditions are met; and

WHEREAS, for areas to be designated natural conversation and wildlife areas before such status can be approved within a city, city council permission must be granted; and

WHEREAS, the adoption of a policy on the consideration of such requests will help guide the Council in its decision making.

NOW THEREFORE UPON REQUEST BY THE COUNTY BOARD OF SUPERVISORS TO CONSIDER A TAX EXEMPTION REQUEST, THE COUNCIL SHALL:

1. Mail notice to all property holders within 200 feet of the parcel under consideration of the request to designate the ground as natural conservation and wildlife area, and invite written or oral comment at the designated council meeting.
2. Request the applicant to come before the Council, to show the area being requested for tax exempt status, explain what actions the applicant has taken in order to establish the area as natural conservation or wildlife area, how long the application expects the ground to remain in that status, and the expected property tax saving associated with the designation.
3. The Council may approve, approve with conditions, or deny the application. In the event the applicant does not follow the conditions, the application shall be deemed to be denied.
4. The City Administrator shall notify the County Board of Supervisors of the decision of the Council.

FACTORS TO CONSIDER IN DETERMINING WHETHER THE COUNCIL SHALL APPROVE A REQUEST:

- The size of the parcel to be designated as natural conservation or wildlife area;
- The area's suitability for other use; that is, in the absence of the property tax abatement, would the ground likely develop or be used for other purpose;
- The amount of public access that will be available for the parcel;
- The impact of the proposal on surrounding property;
- The amount of tax revenue which will be lost by virtue of the approval of the request;
- The length of time the parcel is expected to remain as a nature conservation/wildlife area;
- The impact or potential impact the designation would have on benefiting environmental concerns such as storm water runoff, water quality, air quality, and the preservation or enhancement of native plant species; and
- The impact or potential impact the designation would have on benefiting wildlife habitat.



MEETING DATE: March 2, 2021

REQUESTED BY: Chris Curran

COUNCIL LETTER

VISION:

THE CITY OF BETTENDORF IS A PREMIER PLACE IN WHICH TO LIVE. THE CITY OF BETTENDORF IS THE MOST LIVABLE COMMUNITY FOR FAMILIES WITH RICH EDUCATIONAL, CULTURAL, AND RECREATIONAL OPPORTUNITIES WHERE WE ENJOY A VIBRANT RIVERFRONT AND A GROWING COMPETITIVE BUSINESS ENVIRONMENT. WE TAKE PRIDE IN OUR GREAT COMMUNITY.

ITEM TITLE:

RESOLUTION SETTING THE DATE FOR A PUBLIC HEARING FOR REQUEST FOR DESIGNATION AS OPEN PRAIRIES FOR A PORTION OF PROPERTY LOCATED AT 8972 WELLS FERRY ROAD TO QUALIFY FOR TAX EXEMPTION.

EXPLANATION (Background & How it Responds to Vision, Mission or Goals):

The Council has approved a policy on land set aside for conservation purposes. Marilyn Leonard requests property she owns receive that designation. Pursuant to the policy, the council is asked to set a public hearing on the matter and send notice to adjacent property owners.

If approved, tax revenues from the property so designated will end.

ATTACHMENTS:

- **Resolution (SPH)**
- **Resolution**
- **Letter from Scott County**
- **Application**
- **Aerial Photo**
- **Policy**

RESOLUTION _____ - 21

**RESOLUTION SETTING THE DATE FOR A PUBLIC HEARING FOR
REQUEST FOR DESIGNATION AS OPEN PRAIRIES FOR A PORTION
OF PROPERTY LOCATED AT 8972 WELLS FERRY ROAD TO
QUALIFY FOR TAX EXEMPTION**

BE IT RESOLVED by the City Council of the City of Bettendorf, Iowa, that a public hearing be set for 16th day of March, 2021, at 7:00 p.m. in the Council Chambers at City Hall, 1609 State Street, Bettendorf, to receive public comment on the request of the property owner at 8972 Wells Ferry Road to classify a portion of property she owns within the city as open prairies, and qualify as tax exempt.

BE IT FURTHER RESOLVED that the City Clerk is directed to mail notice of this request to all property owners within 200 feet of the subject property, as well as to the property owner, Marilyn Leonard.

PASSED, APPROVED AND ADOPTED this 2nd day of March, 2021.

Robert S. Gallagher, Mayor

ATTEST:

Decker P. Ploehn, City Clerk

RESOLUTION _____ - 21

**APPROVING REQUEST FOR TAX EXEMPTION FOR 8972 WELLS
FERRY ROAD**

WHEREAS, the owner of property located at 8972 Wells Ferry Road has requested to have a portion of her property designated as tax exempt; and

WHEREAS, pursuant to policy adopted by the City Council, the Council has held a public hearing on the request, and considered the comments of adjoining properties, if any.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Bettendorf, Iowa, said request is hereby approved.

PASSED, APPROVED AND ADOPTED this 16th day of March, 2021.

Robert S. Gallagher, Mayor

ATTEST:

Decker P. Ploehn, City Clerk



Property Tax

CITY OF BETTENDORF

REC'D 12-9-2020

Natural Conservation and Wildlife Areas Property Tax Exemption

Iowa Code section 427.1(22)

This application must be filed or postmarked to your local soil and water conservation district by February 1 of each year. Iowa conservation district addresses can be found at the Conservation Districts of Iowa website: (cdiowa.org).

Property Information – Please Print

Parcel number: 943607102, 943607101 (open prairie) 1.95 ACRES + 4.55 ACRES

Owner: Marilyn Leonard

Property location address: _____

City: _____ State: _____ ZIP: _____

Property owner mailing address: 8972 Wells Ferry Rd.

City: Bettendorf State: IA ZIP: 52722

County: Scott Number of acres: 6.5 acres

Phone: 563-289-5802 Email: mleonardbett@gmail.com

Applicant if other than owner – Please Print

Name: _____

Applicant mailing address: _____

City: _____ State: _____ ZIP: _____

Phone: _____ Email: _____

Relationship to owner: _____

Property type:

- Recreational lakes
- Rivers and streams
- Forest covers
- Open prairies
- River and stream banks
- Section 427.1(22)(g) property

An aerial photo of the property on which the property to be exempted is outlined:

Is included: On file:

If the property is a gully area susceptible to erosion, an erosion control map approved by the soil and conservation district commissioners: Is included On file

I MARILYN LEONARD swear or affirm that the above property will not be used for economic gain of any kind during the assessment year.

Applicant Signature: Marilyn Leonard Date: 2020-12-10

OFFICE USE ONLY

I hereby certify that the property described above is eligible to receive the exemption claimed.

Signed: [Signature] Date: _____

Chairman, Scott County Soil and Water Conservation District
This open prairie property has been inspected and certified as having adequate ground cover consisting of native species, and that all primary and secondary noxious weeds present are being controlled to prevent the spread of seeds by either wind or water.

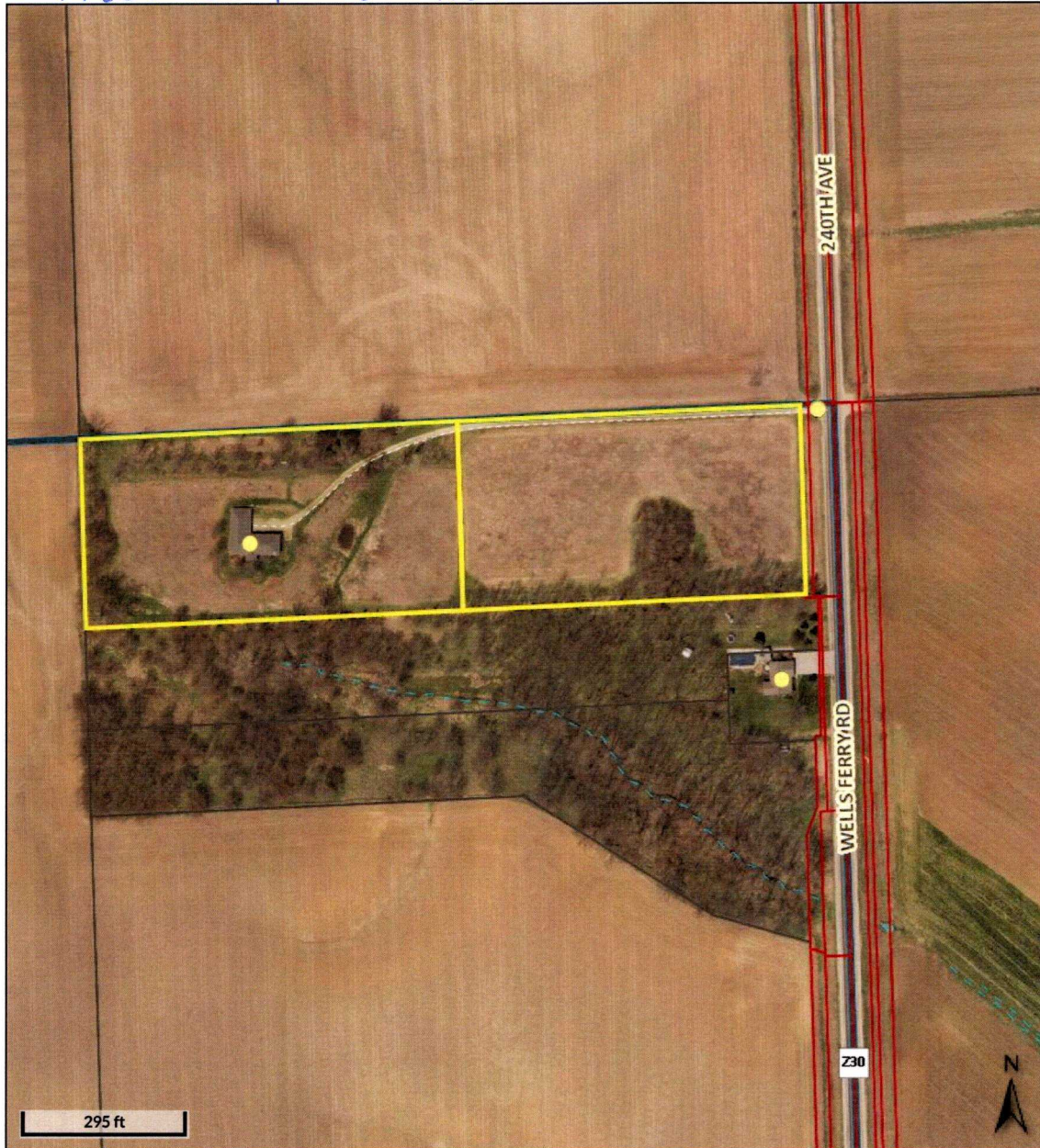
Signed: _____ Date: _____

Chairman, _____ County Board of Supervisors

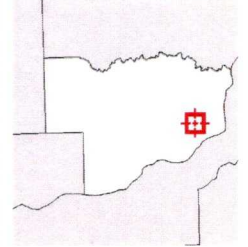


Scott County / City of Davenport, Iowa

943007102 & 943007101



Overview





MEETING DATE: March 2, 2021

COUNCIL LETTER

REQUESTED BY: Chris Curran

VISION:

THE CITY OF BETTENDORF IS A PREMIER PLACE IN WHICH TO LIVE. THE CITY OF BETTENDORF IS THE MOST LIVABLE COMMUNITY FOR FAMILIES WITH RICH EDUCATIONAL, CULTURAL, AND RECREATIONAL OPPORTUNITIES WHERE WE ENJOY A VIBRANT RIVERFRONT AND A GROWING COMPETITIVE BUSINESS ENVIRONMENT. WE TAKE PRIDE IN OUR GREAT COMMUNITY.

ITEM TITLE:

RESOLUTION SETTING THE DATE FOR A PUBLIC HEARING FOR REQUEST FOR DESIGNATION AS FOREST COVERS FOR A PORTION OF PROPERTY LOCATED AT 3000 BARCELONA TERRACE TO QUALIFY FOR TAX EXEMPTION.

EXPLANATION (Background & How it Responds to Vision, Mission or Goals):

The Council has approved a policy on land set aside for conservation purposes. James and Judy Tully requests property they own receive that designation. Pursuant to the policy, the council is asked to set a public hearing on the matter and send notice to adjacent property owners.

If approved, tax revenues from the property so designated will end.

ATTACHMENTS:

- Resolution (SPH)
- Resolution
- Letter from Scott County
- Application
- Aerial Photo
- Policy

**RESOLUTION SETTING THE DATE FOR A PUBLIC HEARING FOR
REQUEST FOR DESIGNATION AS FOREST COVERS FOR A
PORTION OF PROPERTY LOCATED AT 3000 BARCELONA
TERRACE TO QUALIFY FOR TAX EXEMPTION**

BE IT RESOLVED by the City Council of the City of Bettendorf, Iowa, that a public hearing be set for 16th day of March, 2021, at 7:00 p.m. in the Council Chambers at City Hall, 1609 State Street, Bettendorf, to receive public comment on the request of the property owners at 3000 Barcelona Terrace to classify a portion of property they own within the city as forest covers and qualify as tax exempt.

BE IT FURTHER RESOLVED that the City Clerk is directed to mail notice of this request to all property owners within 200 feet of the subject property, as well as to the property owners, James and Judy Tully.

PASSED, APPROVED AND ADOPTED this 2nd day of March, 2021.

Robert S. Gallagher, Mayor

ATTEST:

Decker P. Ploehn, City Clerk

RESOLUTION _____ - 21

**APPROVING REQUEST FOR TAX EXEMPTION FOR
3000 BARCELONA TERRACE**

WHEREAS, the owner of property located at 3000 Barcelona Terrace has requested to have a portion of their property designated as tax exempt; and

WHEREAS, pursuant to policy adopted by the City Council, the Council has held a public hearing on the request, and considered the comments of adjoining properties, if any.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Bettendorf, Iowa, said request is hereby approved.

PASSED, APPROVED AND ADOPTED this 16th day of March, 2021.

Robert S. Gallagher, Mayor

ATTEST:

Decker P. Ploehn, City Clerk



This application must be filed or postmarked to your local soil and water conservation district by February 1 of each year. Iowa conservation district addresses can be found at the Conservation Districts of Iowa website: (cdiowa.org).

Property Information – Please Print

Parcel number: 841017204 (forest cover)

Owner: Jim & Judy Tully (Judith A Tully Revocable Trust)

Property location address: 3000 BARCELONA TERRACE

City: BETTENDORF State: IOWA ZIP: 52722

Property owner mailing address: 3000 Barcelona Terrace

City: Bettendorf State: IA ZIP: 52722

County: Scott Number of acres: 10.7 acres

Phone: 563-332-5585 Email: _____

Applicant if other than owner – Please Print

Name: _____

Applicant mailing address: _____

City: _____ State: _____ ZIP: _____

Phone: _____ Email: _____

Relationship to owner: _____

Property type:

- Recreational lakes
- Rivers and streams
- Forest covers
- Open prairies
- River and stream banks
- Section 427.1(22)(g) property

An aerial photo of the property on which the property to be exempted is outlined:

Is included: On file:

If the property is a gully area susceptible to erosion, an erosion control map approved by the soil and conservation district commissioners: Is included On file

I JAMES TULLY swear or affirm that the above property will not be used for economic gain of any kind during the assessment year.

Applicant Signature: James Tully Date: DECEMBER 14, 2000

OFFICE USE ONLY

I hereby certify that the property described above is eligible to receive the exemption claimed.

Signed: COO Date: _____

Chairman, Scott County Soil and Water Conservation District

This open prairie property has been inspected and certified as having adequate ground cover consisting of native species, and that all primary and secondary noxious weeds present are being controlled to prevent the spread of seeds by either wind or water.

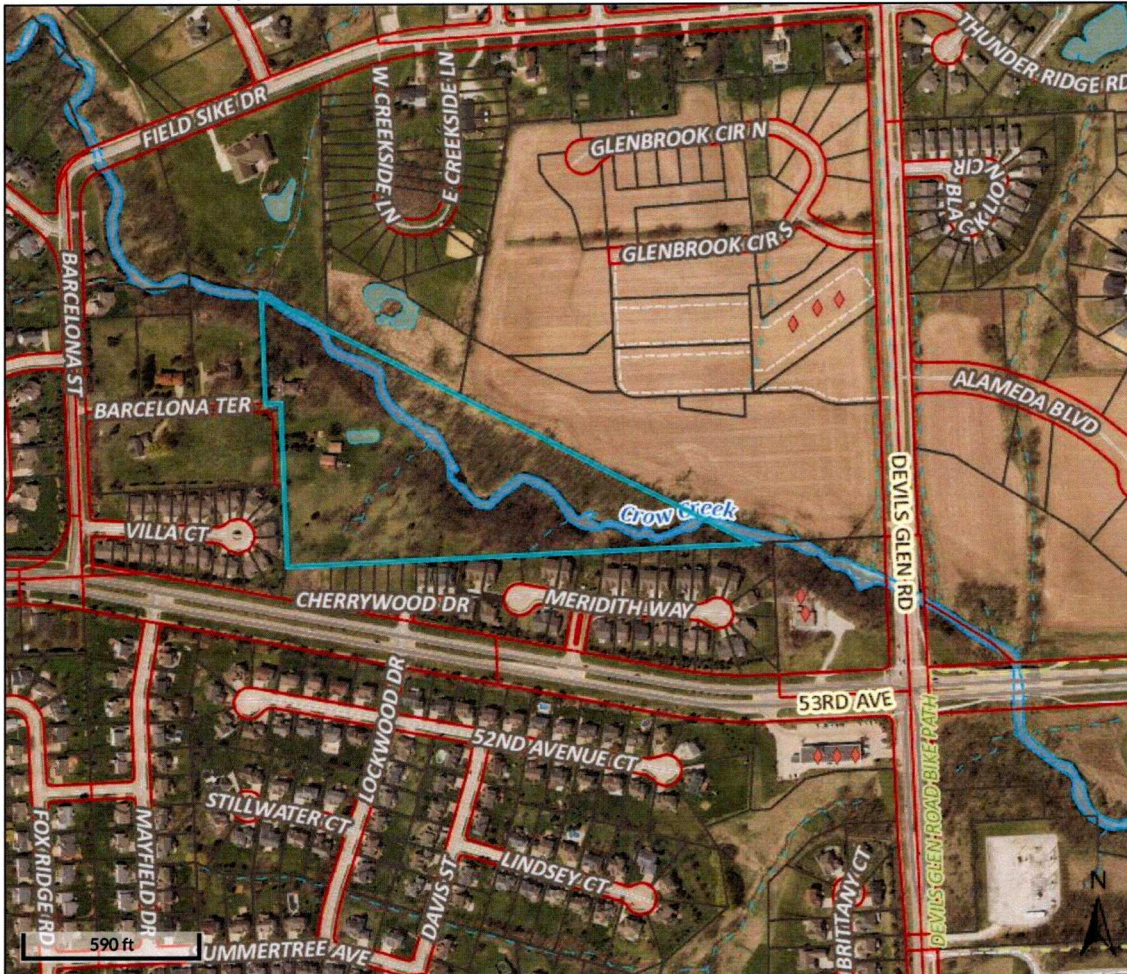
Signed: _____ Date: _____

Chairman, _____ County Board of Supervisors

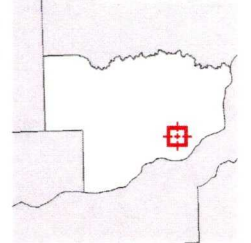


Scott County / City of Davenport, Iowa

841017204



Overview





COUNCIL LETTER

MEETING DATE: March 2, 2021

REQUESTED BY: Chris Curran

VISION:

THE CITY OF BETTENDORF IS A PREMIER PLACE IN WHICH TO LIVE. THE CITY OF BETTENDORF IS THE MOST LIVABLE COMMUNITY FOR FAMILIES WITH RICH EDUCATIONAL, CULTURAL, AND RECREATIONAL OPPORTUNITIES WHERE WE ENJOY A VIBRANT RIVERFRONT AND A GROWING COMPETITIVE BUSINESS ENVIRONMENT. WE TAKE PRIDE IN OUR GREAT COMMUNITY.

ITEM TITLE:

RESOLUTION SETTING THE DATE FOR A PUBLIC HEARING FOR REQUEST FOR DESIGNATION AS FOREST COVER/ RIVERS AND STREAMS/ RIVER AND STREAM BANKS FOR A PORTION OF PROPERTY LOCATED AT 4340 TANGLEWOOD ROAD TO QUALIFY FOR TAX EXEMPTION.

EXPLANATION (Background & How it Responds to Vision, Mission or Goals):

The Council has approved a policy on land set aside for conservation purposes. Chad Miller requests property he owns receive that designation. Pursuant to the policy, the council is asked to set a public hearing on the matter and send notice to adjacent property owners.

If approved, tax revenues from the property so designated will end.

ATTACHMENTS:

- Resolution (SPH)
- Resolution
- Letter from Scott County
- Application
- Aerial Photo
- Policy

**RESOLUTION SETTING THE DATE FOR A PUBLIC HEARING FOR
REQUEST FOR DESIGNATION AS FOREST COVER/ RIVERS AND
STREAMS/ RIVER AND STREAM BANKS FOR A PORTION OF
PROPERTY LOCATED AT 4340 TANGLEWOOD ROAD
TO QUALIFY FOR TAX EXEMPTION**

BE IT RESOLVED by the City Council of the City of Bettendorf, Iowa, that a public hearing be set for 16th day of March, 2021, at 7:00 p.m. in the Council Chambers at City Hall, 1609 State Street, Bettendorf, to receive public comment on the request of the property owner at 4340 Tanglewood Road to classify a portion of property he owns within the city as forest cover/ rivers and streams/river and stream banks and qualify as tax exempt.

BE IT FURTHER RESOLVED that the City Clerk is directed to mail notice of this request to all property owners within 200 feet of the subject property, as well as to the property owner, Chad Miller.

PASSED, APPROVED AND ADOPTED this 2nd day of March, 2021.

Robert S. Gallagher, Mayor

ATTEST:

Decker P. Ploehn, City Clerk

RESOLUTION _____ - 21

**APPROVING REQUEST FOR TAX EXEMPTION FOR 4340
TANGLEWOOD ROAD**

WHEREAS, the owner of property located at 4340 Tanglewood Road has requested to have a portion of his property designated as tax exempt; and

WHEREAS, pursuant to policy adopted by the City Council, the Council has held a public hearing on the request, and considered the comments of adjoining properties, if any.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Bettendorf, Iowa, said request is hereby approved.

PASSED, APPROVED AND ADOPTED this 16th day of March, 2021.

Robert S. Gallagher, Mayor

ATTEST:

Decker P. Ploehn, City Clerk

This application must be filed or postmarked to your local soil and water conservation district by February 1 of each year. Iowa conservation district addresses can be found at the Conservation Districts of Iowa website: (cdiowa.org).

Property Information - Please Print

Parcel number: 8414172032 2.00 ACRES FOREST COVER + 2.30 ACRES RIVER AND STREAMS
Owner: CHAD A MILLER REVOC TRUST RIVER AND STREAM BANKS
Property location address: 4340 TANGLEWOOD RD
City: BETTENDORF State: IA ZIP: 52722
Property owner mailing address: 4340 TANGLEWOOD RD
City: BETTENDORF State: IA ZIP: 52722
County: Scott Number of acres: 4.30
Phone: 563-349-8692 Email: TaxExApp@millerwrks.com

Applicant if other than owner - Please Print

Name: Chad A Miller
Applicant mailing address: 4340 TANGLEWOOD RD
City: BETTENDORF State: IA ZIP: 52722
Phone: 563-349-8692 Email: TaxExApp@millerwrks.com
Relationship to owner: Owner

Property type:

- Recreational lakes [] Rivers and streams [x] Forest covers [x]
Open prairies [] River and stream banks [x] Section 427.1(22)(g) property []

An aerial photo of the property on which the property to be exempted is outlined:

Is included: [x] On file: [x]

If the property is a gully area susceptible to erosion, an erosion control map approved by the soil and conservation district commissioners: Is included [] On file []

I, Chad A Miller swear or affirm that the above property will not be used for economic gain of any kind during the assessment year.

Applicant Signature: Chad A. Miller Date: 01/29/2021

OFFICE USE ONLY

I hereby certify that the property described above is eligible to receive the exemption claimed.

Signed: [Signature] Date: _____

Chairman, Scott County Soil and Water Conservation District

This open prairie property has been inspected and certified as having adequate ground cover consisting of native species, and that all primary and secondary noxious weeds present are being controlled to prevent the spread of seeds by either wind or water.

Signed: _____ Date: _____

Chairman, _____ County Board of Supervisors

Slough Bill Application Area

Date: 1/15/2020

Customer(s): CHAD A MILLER

District: SCOTT SOIL & WATER CONSERVATION DISTRICT

Field Office: DAVENPORT SERVICE CENTER

Agency: USDA-NRCS

Assisted By: J. Bisinger

Legal Description: 4.3 AC



Legend

- forest_cover ~~1.6 ac~~ 2.0 AC
- slough-stream & stream banks 2.3 ac
- Consplan-t4894
- Iowa - Counties
- Scott Co - Townships

Prepared with assistance from USDA-Natural Resources Conservation Service





MEETING DATE: March 2, 2021
REQUESTED BY: Michelle Spencer

COUNCIL LETTER

VISION:

THE CITY OF BETTENDORF IS A PREMIER PLACE IN WHICH TO LIVE. THE CITY OF BETTENDORF IS THE MOST LIVABLE COMMUNITY FOR FAMILIES WITH RICH EDUCATIONAL, CULTURAL, AND RECREATIONAL OPPORTUNITIES WHERE WE ENJOY A VIBRANT RIVERFRONT AND A GROWING COMPETITIVE BUSINESS ENVIRONMENT. WE TAKE PRIDE IN OUR GREAT COMMUNITY.

ITEM TITLE: RESOLUTION APPROVING LIQUOR LICENSE RENEWALS FOR HIDDEN HILLS GOLF CLUB AND CRAWFORD BREW WORKS.

EXPLANATION (Background & How it Responds to Vision, Mission or Goals):

The Licensing of these businesses contributes to the mission of a growing, competitive business environment. The applicant has submitted the necessary documentation to issue the respective license and/or permits as required by the State of Iowa.

A criminal history background check has been conducted.

The Bettendorf Fire Department has determined that the application is in compliance with federal, state, and local requirements.

ATTACHMENTS:

- Resolution
- Application(s)

**RESOLUTION APPROVING LIQUOR LICENSE RENEWALS FOR
HIDDEN HILLS GOLF CLUB AND CRAWFORD BREW WORKS**

BE IT RESOLVED by the City Council of the City of Bettendorf, Iowa, that pursuant to Iowa Code Chapter 123 the aforementioned applications be approved; and

BE IT FURTHER RESOLVED that the City Clerk is herewith directed to certify to the Iowa Department of Commerce, Alcoholic Beverages Division, the City Council's approval of the above applications.

PASSED, APPROVED AND ADOPTED this 2nd day of March, 2021.

Robert S. Gallagher, Mayor

ATTEST:

Decker P. Ploehn, City Clerk

Applicant License Application (LC0036029)

Name of Applicant:	<u>Hidden Hills Golf Club, L.C.</u>		
Name of Business (DBA):	<u>Hidden Hills Golf Club</u>		
Address of Premises:	<u>4335 Indiana Ave.</u>		
City	<u>Bettendorf</u>	County:	<u>Scott</u> Zip: <u>52722</u>
Business	<u>(563) 332-5616</u>		
Mailing	<u>3211 E. 35th Street Court</u>		
City	<u>Davenport</u>	State	<u>IA</u> Zip: <u>52807</u>

Contact Person

Name	<u>Robert C. Fick</u>		
Phone:	<u>(563) 359-4663</u>	Email	<u>llevetzow@melfosterco.com</u>

Classification Class C Liquor License (LC) (Commercial)

Term:12 months

Effective Date: 03/26/2021

Expiration Date: 03/25/2022

Privileges:

Class C Liquor License (LC) (Commercial)

Outdoor Service

Sunday Sales

Status of Business

BusinessType:	<u>Limited Liability Company</u>		
Corporate ID Number:	<u>XXXXXXXXXX</u>	Federal Employer ID	<u>XXXXXXXXXX</u>

Ownership

Mel Foster Company Properties

Inc of Iowa

First Name: Mel Foster Company **Last Name:** Properties Inc of Iowa
City: Davenport **State:** Iowa **Zip:** 52807
Position: managing member
% of Ownership: 100.00% **U.S. Citizen:** Yes

Calvin Harmsen

First Name: Calvin **Last Name:** Harmsen
City: Davenport **State:** Iowa **Zip:** 52807
Position: Vice President
% of Ownership: 0.00% **U.S. Citizen:** Yes

Hidden Hills Golf Club, L.C.

First Name: Hidden Hills Golf **Last Name:** Club, L.C.
City: Davenport **State:** Iowa **Zip:** 52807

Position: 0

% of Ownership: 0.00%

U.S. Citizen: Yes

Insurance Company Information

Insurance Company:	<u>Selective Insurance Co. of the South East</u>		
Policy Effective Date:		Policy Expiration	
Bond Effective		Dram Cancel Date:	
Outdoor Service Effective		Outdoor Service Expiration	
Temp Transfer Effective		Temp Transfer Expiration Date:	

Applicant License Application (LC0044294)

Name of Applicant:	<u>CRAWFORD BREW WORKS, LLC</u>		
Name of Business (DBA):	<u>Crawford Brew Works</u>		
Address of Premises:	<u>3659 Devil's Glen Road</u>		
City	<u>Bettendorf</u>	County:	<u>Scott</u> Zip: <u>52722</u>
Business	<u>(563) 332-0243</u>		
Mailing	<u>3659 Devil's Glen Road</u>		
City	<u>Bettendorf</u>	State	<u>IA</u> Zip: <u>52722</u>

Contact Person

Name	<u>Deborah Davis</u>		
Phone:	<u>(319) 621-1977</u>	Email	<u>ddavis@crawfordbrewworks.com</u>

Classification Class C Liquor License (LC) (Commercial)

Term:12 months

Effective Date: 04/01/2021

Expiration Date: 03/31/2022

Privileges:

Brew Pub

Class C Liquor License (LC) (Commercial)

Outdoor Service

Sunday Sales

Status of Business

BusinessType:	<u>Limited Liability Company</u>		
Corporate ID Number:	<u>XXXXXXXXXX</u>	Federal Employer ID	<u>XXXXXXXXXX</u>

Ownership

Ian Frink

First Name: Ian **Last Name:** Frink
City: Bettendorf **State:** Iowa **Zip:** 52722
Position: Member
% of Ownership: 20.00% **U.S. Citizen:** Yes

Bruce Grell

First Name: Bruce **Last Name:** Grell
City: Bettendorf **State:** Iowa **Zip:** 52722
Position: Member
% of Ownership: 20.00% **U.S. Citizen:** Yes

Robert Frink

First Name: Robert **Last Name:** Frink

City: Rock Island **State:** Illinois **Zip:** 61201
Position: Member
% of Ownership: 20.00% **U.S. Citizen:** **Yes**

Keith Gerks

First Name: Keith **Last Name:** Gerks
City: Princeton **State:** Iowa **Zip:** 52768
Position: Member
% of Ownership: 20.00% **U.S. Citizen:** **Yes**

Adam Isaacson

First Name: Adam **Last Name:** Isaacson
City: Bettendorf **State:** Iowa **Zip:** 52722
Position: Member
% of Ownership: 20.00% **U.S. Citizen:** **Yes**

Insurance Company Information

Insurance Company: <u>EMCASCO Insurance Company</u>	
Policy Effective Date: <u>04/01/2021</u>	Policy Expiration <u>04/01/2022</u>
Bond Effective	Dram Cancel Date:
Outdoor Service Effective	Outdoor Service Expiration
Temp Transfer Effective	Temp Transfer Expiration Date:

City of Bettendorf
Accounts Payable Listing
March 2, 2021 Council Meeting

Date: 2/25/2021

Account Number	Project #	Check #	Vendor Name	Chk Date	Invoice #	Trans Amt	Description
206-0000-113.10-00		110986	MID AMERICAN ENERGY	2/24/2021	4043138016FEB2A	88.61	BRIDGE LIGHTS
Total for Fund			206	ROAD USE FUND		88.61	
			Department	N/A			
520-0000-121.99-00		111014	CITY OF DAVENPORT	3/3/2021	1325593	274,589.00	FY21 SEWAGE TREATMENT PLANT EQUIP REPLACE F
Total for Fund			520	SEWER UTILITY		274,589.00	
			Department	N/A			
585-0000-359.23-00		111078	RIVER BEND TRANSIT	3/3/2021	013121C	-78.25	FARES COLLECTED JANUARY 2021
585-0000-359.24-00		111078	RIVER BEND TRANSIT	3/3/2021	013121A	-1,125.05	REVENUES COLLECTED JANUARY 2021
Total for Fund			585	TRANSIT		-1,203.30	
			Department	N/A			
810-0000-205.15-00		110988	AMERICAN FUNDS SERVICE COMPAN	2/26/2021	20210226	50.00	PAYROLL SUMMARY
810-0000-205.15-00		110997	LEGALSHIELD	2/26/2021	20210226	126.61	PAYROLL SUMMARY
810-0000-205.15-00		111001	WASHINGTON NATIONAL LIFE INSUR	2/26/2021	20210226	35.05	PAYROLL SUMMARY
810-0000-205.20-00		110996	COMMUNITY HEALTH CHARITIES IOW	2/26/2021	20210226	9.00	PAYROLL SUMMARY
810-0000-205.21-00		110992	CITY OF BETTENDORF	2/26/2021	20210226	12,573.34	PAYROLL SUMMARY
810-0000-205.22-00		110992	CITY OF BETTENDORF	2/26/2021	20210226A	195.00	PAYROLL SUMMARY
810-0000-205.23-00		110989	ANCHOR NATIONAL LIFE INSURANCE	2/26/2021	20210226	299.23	PAYROLL SUMMARY
810-0000-205.23-00		110993	CITY OF BETTENDORF/125 PLAN	2/26/2021	20210226	4,409.09	PAYROLL SUMMARY
810-0000-205.23-00		110994	CITY OF BETTENDORF/125 PLAN	2/26/2021	20210226	2,223.97	PAYROLL SUMMARY
810-0000-205.23-00		110995	CITY OF BETTENDORF/125 PLAN	2/26/2021	20210226	1,391.99	PAYROLL SUMMARY
810-0000-205.23-00		110998	LINCOLN LIFE	2/26/2021	20210226	1,395.25	PAYROLL SUMMARY
810-0000-205.23-00		110999	OHIO NATIONAL LIFE INSURANCE CC	2/26/2021	20210226	816.38	PAYROLL SUMMARY
810-0000-205.23-00		111000	PACIFIC LIFE INSURANCE COMPANY	2/26/2021	20210226	507.85	PAYROLL SUMMARY
810-0000-205.28-00		111000	PACIFIC LIFE INSURANCE COMPANY	2/26/2021	20210226A	161.62	PAYROLL SUMMARY
810-0000-205.99-00		110990	BETTENDORF POLICE BENEVOLENT	2/26/2021	20210226	100.00	PAYROLL SUMMARY
810-0000-205.99-00		110991	CITY OF BETTENDORF	2/26/2021	20210226	235.24	PAYROLL SUMMARY
Total for Fund			810	LIABILITY CLEARING ACCT.		24,529.62	
			Department	N/A			

City of Bettendorf
Accounts Payable Listing
March 2, 2021 Council Meeting

Date: 2/25/2021

Account Number	Project #	Check #	Vendor Name	Chk Date	Invoice #	Trans Amt	Description
Total for Department						298,003.93	
001-0101-460.13-04		111067	PALMER GRILL	3/3/2021	020621	153.00	BUDGET WORK SESSION FOR COUNCIL & STAFF 2/6/21
001-0101-460.13-04		111105	WATERFRONT DELI & RESTAURANT	3/3/2021	021021	91.08	INFORMATIONAL MEETING W/ COUNCIL & STAFF 2/10/21
001-0101-460.22-13		111008	BI-STATE REGIONAL COMMISSION	3/3/2021	0010717	17,400.00	ROOSEVELT GROUP CONTRACT 02/01/21 - 01/31/22
Total for Fund 001 GENERAL FUND						17,644.08	
			Department	Mayor & Council			
684-0105-494.22-92		111038	IMWCA	3/3/2021	INV79239	17,760.73	LARGE DED PMT FY1819 1/1/2021-1/31/2021
Total for Fund 684 RISK MANAGEMENT						17,760.73	
			Department	Mayor & Council			
686-0106-494.22-83		111023	EMPLOYEE BENEFIT SYSTEM	3/3/2021	000028106	810.70	VISION BENEFITS
686-0106-494.22-96		2100430	EMPLOYEE BENEFIT SYSTEM	2/5/2021	02032021	272.00	VISION CLAIMS CKS 2020 - 2021
Total for Fund 686 EMPLOYEE INSURANCE						1,082.70	
			Department	Mayor & Council			
Total for Department						36,487.51	
001-0201-461.13-03		111017	DAS FINANCE	3/3/2021	DAS2021073184	3,500.00	CPM PROGRAM - AMY HENZE
001-0202-461.22-01		110978	STATE OF IOWA - AUDITOR	2/17/2021	CAFRFILING 2/16	850.00	FILE AUDIT WITH STATE
001-0202-461.22-01		111082	RSM US LLP	3/3/2021	6220845	8,500.00	FINAL BILL FY19/20 AUDIT
001-0202-461.22-90		111080	ROCHESTER ARMORED CAR CO., INC	3/3/2021	708263	693.12	JANUARY - COURIER SERVICE
001-0202-461.23-06		111065	OFFICE EXPRESS OFFICE PRODUCT	3/3/2021	150165-0	299.90	OFFICE SUPPLIES - PAPER
001-0202-461.23-06		111065	OFFICE EXPRESS OFFICE PRODUCT	3/3/2021	151502-0	9.65	OFFICE SUPPLIES - BATTERY
001-0202-461.23-06		111065	OFFICE EXPRESS OFFICE PRODUCT	3/3/2021	153309-0	25.38	OFFICE SUPPLIES
001-0202-461.23-07		111016	CULLIGAN OF DAVENPORT	3/3/2021	0458691	4.80	CITY HALL WATER
001-0202-461.23-07		111016	CULLIGAN OF DAVENPORT	3/3/2021	0458950	10.80	CITY HALL WATER
Total for Fund 001 GENERAL FUND						13,893.65	
			Department	Finance			
520-0204-490.22-04		111061	MUNICIPAL COLLECTIONS OF AMERICA	3/3/2021	50653	8.06	AGENCY FEE - SEWER
520-0204-490.22-99		111055	MIDWEST MAILWORKS INC.	3/3/2021	228561	136.42	03 BILLS 1/27

City of Bettendorf
Accounts Payable Listing
March 2, 2021 Council Meeting

Date: 2/25/2021

Account Number	Project #	Check #	Vendor Name	Chk Date	Invoice #	Trans Amt	Description
520-0204-490.22-99		111055	MIDWEST MAILWORKS INC.	3/3/2021	228563	15.65	FINAL BILLS 01/28
520-0204-490.22-99		111055	MIDWEST MAILWORKS INC.	3/3/2021	228898	39.90	04 BILLS 02/17
520-0204-490.22-99		111055	MIDWEST MAILWORKS INC.	3/3/2021	228899	244.34	02 LATE NOTICES 02/17
Total for Fund			520	SEWER UTILITY		444.37	
			Department	Finance			
580-0219-493.22-04		111061	MUNICIPAL COLLECTIONS OF AMERICA	3/3/2021	50653B	3.89	AGENCY FEE - STORMWATER
580-0219-493.22-99		111055	MIDWEST MAILWORKS INC.	3/3/2021	228561B	136.42	03 BILLS 01/27
580-0219-493.22-99		111055	MIDWEST MAILWORKS INC.	3/3/2021	228563B	15.65	FINAL BILLS 01/28
580-0219-493.22-99		111055	MIDWEST MAILWORKS INC.	3/3/2021	228898B	39.90	04 BILLS 02/17
580-0219-493.22-99		111055	MIDWEST MAILWORKS INC.	3/3/2021	228899B	244.35	02 LATE NOTICES 02/17
Total for Fund			580	STORM WATER UTILITY		440.21	
			Department	Finance			
688-0231-494.21-30		111035	ICIMS INC.	3/3/2021	248764	8,506.92	SUBSCRIPTION MARCH 2021 THRU FEBRUARY 2022
Total for Fund			688	INFORMATION SERVICES		8,506.92	
			Department	Finance			
Total for Department							23,285.15
001-0301-410.13-01		111072	QC COUNCIL OF POLICE CHIEFS	3/3/2021	020921	150.00	ANNUAL DUES/CHIEF KIMBALL CAPTS PAUL AND STREE
001-0311-410.12-09		111076	RAY O'HERRON CO.INC.	3/3/2021	2064964-IN	350.00	HANDCUFFS, TOURNIQUETS
001-0311-410.12-09		111076	RAY O'HERRON CO.INC.	3/3/2021	2064965-IN	43.97	SGT BARS
001-0311-410.12-09		111076	RAY O'HERRON CO.INC.	3/3/2021	2073293-CM	-190.00	CREDIT/TOURNIQUETS
001-0311-410.12-09		111076	RAY O'HERRON CO.INC.	3/3/2021	2082719-CM	-21.00	CREDIT/SGT BARS
001-0311-410.12-09		111076	RAY O'HERRON CO.INC.	3/3/2021	2087346-IN	229.79	MAG POUCHES
001-0311-410.12-09		111076	RAY O'HERRON CO.INC.	3/3/2021	2087906-IN	149.58	BOOTS/MERRITT
001-0311-410.12-09		111076	RAY O'HERRON CO.INC.	3/3/2021	2087996-IN	31.77	WHISTLES
001-0311-410.12-09		111076	RAY O'HERRON CO.INC.	3/3/2021	2088131-IN	764.79	BADGES
001-0311-410.12-09		111102	UNIFORM DEN, INC.	3/3/2021	105336-01	287.35	UNIFORM WEAR/STREEPY
001-0311-410.12-09		111102	UNIFORM DEN, INC.	3/3/2021	105679	246.75	DUTY PANTS/GISH
001-0311-410.12-09		111102	UNIFORM DEN, INC.	3/3/2021	105686	122.30	CLEAR EAR TUBES, EAR BUDS
001-0311-410.23-07		111090	STREICHER'S INC	3/3/2021	11484640	3,603.31	AMMUNITION
001-0315-410.22-99		111088	SCOTT COUNTY SHERIFF'S OFFICE	3/3/2021	2021-77	875.00	BOOKING FEES (JAN)

City of Bettendorf
Accounts Payable Listing
March 2, 2021 Council Meeting

Account Number	Project #	Check #	Vendor Name	Chk Date	Invoice #	Trans Amt	Description
001-0315-410.23-04		111079	RIVERBEND SIGNWORKS	3/3/2021	16134	199.95	NOW HIRING MAGNETS
001-0315-410.23-07		111016	CULLIGAN OF DAVENPORT	3/3/2021	0458692	85.30	WATER
001-0316-410.23-04		111046	KELTEK INC	3/3/2021	1507	371.55	BATTERIES FOR SQUAD CAR LAPTOPS
Total for Fund			001	GENERAL FUND		7,300.41	
			Department	Police			
Total for Department						7,300.41	
001-0401-414.22-13		111081	ROCK VALLEY PHYSICAL THERAPY	3/3/2021	26658420121	1,266.90	HAZMAT PHYSICALS
001-0401-414.23-13		111036	ILLOWA COUNCIL, INC.	3/3/2021	102020	651.00	2021 MEMBERSHIP
001-0410-414.21-01		111106	WESTERN STRUCTURAL COMPANY	3/3/2021	21-1112	2,000.00	STAIRS AND SUPPORTS/TC
001-0411-414.12-09		111068	PANTHER UNIFORMS INC.	3/3/2021	24482	283.50	INSIGNIA/NEW HIRES
001-0411-414.23-04		111032	GREENWOOD CLEANING SYSTEMS I	3/3/2021	0895571-IN	131.10	SCBA PARTS
001-0412-414.23-06		111007	BETTENDORF OFFICE PRODUCTS,IN	3/3/2021	0463416-001	25.12	OFFICE SUPPLIES/ST4
001-0413-414.23-10		111022	EMERGENCY MEDICAL PRODUCTS, I	3/3/2021	2233404	84.34	MEDICAL SUPPLIES
001-0413-414.23-10		111022	EMERGENCY MEDICAL PRODUCTS, I	3/3/2021	2233781	183.74	MEDICAL SUPPLIES
001-0414-414.13-01		111041	IOWA HAZARDOUS MATERIALS TASK	3/3/2021	020621	100.00	ANNUAL DUES
001-0414-414.23-12		111060	MOLO OIL COMPANY	3/3/2021	0016564-IN	143.00	FLOOR DRY
001-0415-414.21-01		111100	TRI-STATE AUTOMATIC SPRINKLER C	3/3/2021	0038415-IN	1,356.78	FIRE SPRINKLER INSP/ST2
001-0415-414.21-11		111040	IOWA AMERICAN WATER COMPANY	3/3/2021	061239FEB21	27.20	HYDRANT/ST2
001-0415-414.21-11		111040	IOWA AMERICAN WATER COMPANY	3/3/2021	062188FEB21	61.70	HYDRANT/ST4
001-0415-414.22-99		111043	JOHNSON CONTROLS SECURITY SO	3/3/2021	35474140	659.05	FIRE ALARM INSP/ST2 03/01/21-02/28/22
001-0415-414.22-99		111058	MILLENNIUM WASTE, INC.	3/3/2021	3099730	55.00	WASTE DISPOSAL/ST4
001-0415-414.22-99		111096	THYMET PEST CONTROL	3/3/2021	119042	58.00	MONTHLY SERVICE/ST2
001-0415-414.23-04		111005	BATTERIES PLUS #0130	3/3/2021	P36559367	76.80	BATTERIES/ST2
001-0415-414.23-07		111010	CARQUEST AUTO PARTS STORE	3/3/2021	6604-374318	55.16	DIESEL EXHAUST FLUID
001-0415-414.23-07		111016	CULLIGAN OF DAVENPORT	3/3/2021	0458690	50.45	WATER
001-0415-414.23-07		111032	GREENWOOD CLEANING SYSTEMS I	3/3/2021	482383-000	3.50	STATION SUPPLIES
001-0415-414.23-07		111032	GREENWOOD CLEANING SYSTEMS I	3/3/2021	482563-000	165.83	STATION SUPPLIES
001-0415-414.23-07		111034	HY-VEE, INC. FD	3/3/2021	5853002161	1.99	MOUSE TRAPS/ST4
001-0415-414.23-07		111065	OFFICE EXPRESS OFFICE PRODUCT	3/3/2021	152859-0	97.65	STATION SUPPLIES
001-0418-414.21-06		111050	LIGHTING MAINTENANCE INC.	3/3/2021	8462	1,537.08	SIREN #5 MOTOR REPAIR - COLLECTION RING & BRUSH

City of Bettendorf
Accounts Payable Listing
March 2, 2021 Council Meeting

Account Number	Project #	Check #	Vendor Name	Chk Date	Invoice #	Trans Amt	Description
Total for Fund			001	GENERAL FUND		9,074.89	
Department			Fire				
Total for Department						9,074.89	
001-0525-464.21-01	2100CH	111064	NIGHTWATCH SECURITY SERVICES,	3/3/2021	46646	2,675.00	CITY HALL, SECURITY REPAIRS
001-0525-464.21-01	2100LB	111043	JOHNSON CONTROLS SECURITY SO	3/3/2021	35389263	408.74	LIBRARY, DIALER UPGRADE
001-0525-464.21-01	2100LB	111043	JOHNSON CONTROLS SECURITY SO	3/3/2021	35390796	176.43	LIBRARY, DIALER INSTALL
001-0525-464.21-01	2100MC	111030	GRAINGER	3/3/2021	9774725957	93.00	MAINT CTR, FLAG
001-0525-464.21-01	2100MC	111104	WASTE COMMISSION OF SCOTT CO.	3/3/2021	013121M	3.70	MAINTENANCE
001-0525-464.22-99	2100CC	111043	JOHNSON CONTROLS SECURITY SO	3/3/2021	35474141	119.60	COM CTR, FIRE ALARM INSPECT.
001-0525-464.22-99	2100CH	111047	KONE INC.	3/3/2021	959779959A	176.52	CITY HALL, ELEVATOR MAINT SERVICE
001-0525-464.22-99	2100LB	111047	KONE INC.	3/3/2021	959779959B	353.04	LIBRARY, ELEVATOR MAINT. SERVICE
001-0525-464.22-99	2100MC	111003	ADVANCED WILDLIFE CONTROL COM	3/3/2021	013121A	175.00	ANIMAL CONTROL
001-0525-464.22-99	2100MC	111043	JOHNSON CONTROLS SECURITY SO	3/3/2021	35474137	1,594.76	MAINT CTR, FIRE ALARM INSPECT.
001-0525-464.22-99	2100MC	111047	KONE INC.	3/3/2021	959779959C	176.52	MAINT CTR, ELEVATOR MAINT SERVICE
001-0526-464.22-99	2101CH	111013	CINTAS LOC 23M	3/3/2021	4074466534	37.10	CITY HALL, MATS
001-0526-464.22-99	2101CH	111013	CINTAS LOC 23M	3/3/2021	4075113780	37.10	CITY HALL, MATS
001-0526-464.22-99	2101CH	111013	CINTAS LOC 23M	3/3/2021	4075789049	37.10	CITY HALL, MATS
001-0526-464.22-99	2101LB	111013	CINTAS LOC 23M	3/3/2021	4074824851	229.85	LIBRARY, MATS
001-0526-464.22-99	2101LB	111013	CINTAS LOC 23M	3/3/2021	4075494635	270.38	LIBRARY, MATS
001-0526-464.22-99	2101LB	111070	PROFESSIONAL BUILDING SERVICES	3/3/2021	103511	1,677.00	LIBRARY, CLEANING SERVICE
001-0526-464.22-99	2101MC	111013	CINTAS LOC 23M	3/3/2021	4074466511	50.53	MAINT CTR, MATS
001-0526-464.22-99	2101MC	111013	CINTAS LOC 23M	3/3/2021	4075113849	50.53	MAINT CTR, MATS
001-0526-464.22-99	2101MC	111013	CINTAS LOC 23M	3/3/2021	40757889108	50.53	MAINT CTR, MATS
001-0526-464.23-07	2101LB	111093	THE HOME DEPOT PRO	3/3/2021	597903756	364.71	LIBRARY, TP
001-0526-464.23-07	2101LB	111093	THE HOME DEPOT PRO	3/3/2021	600039424	22.27	LIBRARY, TOWELS
001-0526-464.23-07	COVID	111093	THE HOME DEPOT PRO	3/3/2021	600039408	201.50	LIBRARY, GLOVES
001-0526-464.23-07	COVID	111093	THE HOME DEPOT PRO	3/3/2021	600039416	236.24	LIBRARY, HAND SANITIZER
001-0572-442.22-99		111013	CINTAS LOC 23M	3/3/2021	4074466545	49.31	TOWELS, MATS
001-0572-442.22-99		111071	PS3 ENTERPRISES, INC	3/3/2021	118153	67.00	PORTA POTTY RENTAL - CCP - DOG PARK
001-0572-442.22-99		111071	PS3 ENTERPRISES, INC	3/3/2021	118154	67.00	PORTA POTTY RENTAL - MIDDLE PK - CENT. GARDENS
001-0572-442.22-99		111071	PS3 ENTERPRISES, INC	3/3/2021	118155	67.00	PORTA POTTY RENTAL - CCP - DEK HOCKEY
001-0572-442.22-99		111071	PS3 ENTERPRISES, INC	3/3/2021	118156	67.00	PORTA POTTY RENTAL - VETERANS PARK
001-0572-442.22-99		111084	S J SMITH CO. INC.	3/3/2021	583374	65.10	GAS SUPPLY

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Account Number	Project #	Check #	Vendor Name	Chk Date	Invoice #	Trans Amt	Description
Total for Fund			001	GENERAL FUND		9,599.56	
Department			Public Works				
206-0501-429.23-06		111065	OFFICE EXPRESS OFFICE PRODUCT	3/3/2021	151068-0	83.42	TONER
206-0501-429.23-06		111065	OFFICE EXPRESS OFFICE PRODUCT	3/3/2021	151068-1	227.02	PRINTER TONER
206-0501-429.23-06		111089	SHERWIN WILLIAMS CO.	3/3/2021	1894-9	112.07	PAINTING SUPPLIES
206-0502-425.23-04		111044	K & K HARDWARE	3/3/2021	167897	41.98	WRENCH & SOCKET SET
206-0511-420.23-07		111098	TRI CITY BLACKTOP, INC.	3/3/2021	36493	108.75	UPM
206-0511-420.23-07		111098	TRI CITY BLACKTOP, INC.	3/3/2021	36502	282.50	UPM
206-0511-420.23-07		111098	TRI CITY BLACKTOP, INC.	3/3/2021	36508	80.00	UPM
206-0512-424.23-07		111009	CARGILL	3/3/2021	2905991055	2,932.15	ROAD DE-ICING SALT
206-0512-424.23-07		111032	GREENWOOD CLEANING SYSTEMS I	3/3/2021	482160-000	1,958.04	ICE MELTER
206-0512-424.23-07		111066	OSSIAN INC.	3/3/2021	146776	2,423.20	CALCIUM CHLORIDE
206-0512-424.23-07		111066	OSSIAN INC.	3/3/2021	146777	4,135.05	FUSION 55
206-0512-424.23-07		111066	OSSIAN INC.	3/3/2021	147079	4,025.70	FUSION 55
206-0512-424.23-07		111066	OSSIAN INC.	3/3/2021	147080	2,420.00	CALCIUM CHLORIDE
206-0512-424.23-07		111107	WINTER EQUIPMENT COMPANY	3/3/2021	IV47064	4,557.11	MISC. PLOW PARTS
206-0514-423.23-07		111042	IOWA PRISON INDUSTRIES	3/3/2021	957957	887.04	SIGNS
206-0514-423.23-07		111109	3M COMPANY	3/3/2021	9410267845	380.78	GRAPHIC FILM
206-0530-422.21-08		110986	MID AMERICAN ENERGY	2/24/2021	4043138016FEB21	88.61	BRIDGE LIGHTS
206-0530-423.22-99		111099	TRI-CITY ELECTRIC CO	3/3/2021	248202	583.04	PULLING POLE
206-0530-423.23-07		111058	MILLENNIUM WASTE, INC.	3/3/2021	3100036	50.00	TRAFFIC DUMPSTER 2/1/21 - 2/28/21
Total for Fund			206	ROAD USE FUND		25,376.46	
Department			Public Works				
550-0506-491.23-07		111104	WASTE COMMISSION OF SCOTT CO.	3/3/2021	21-04	11,320.85	CALENDAR MAILINGS
550-0509-491.22-04		111061	MUNICIPAL COLLECTIONS OF AMERI	3/3/2021	50653A	12.85	AGENCY FEE - GARBAGE
550-0509-491.22-13		111104	WASTE COMMISSION OF SCOTT CO.	3/3/2021	013121L	22,042.50	SOLID WASTE - JAN 2021
550-0509-491.22-99		111055	MIDWEST MAILWORKS INC.	3/3/2021	228561A	136.42	03 BILLS 01/27
550-0509-491.22-99		111055	MIDWEST MAILWORKS INC.	3/3/2021	228563A	15.65	FINAL BILLS 01/28
550-0509-491.22-99		111055	MIDWEST MAILWORKS INC.	3/3/2021	228898A	39.90	04 BILLS 02/17
550-0509-491.22-99		111055	MIDWEST MAILWORKS INC.	3/3/2021	228899A	244.35	02 LATE NOTICES 02/17
550-0528-491.22-13		111083	RUSH ROLL-OFF, INC.	3/3/2021	3977	200.00	TIRES
550-0528-491.22-13		111104	WASTE COMMISSION OF SCOTT CO.	3/3/2021	013121BW	2,492.88	BULKY WASTE - JAN 2021

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Total for Fund			550	SOLID WASTE/RECYCLING ENR		16,505.40	
Department			Public Works				
555-0525-494.21-01	2100FM	111043	JOHNSON CONTROLS SECURITY SO	3/3/2021	35389264	408.74	MUSEUM, DIALER UPGRADED
555-0525-494.21-01	2100FM	111043	JOHNSON CONTROLS SECURITY SO	3/3/2021	35390797	61.37	MUSEUM, DIALER UPGRADE
555-0525-494.22-99	2100FM	111043	JOHNSON CONTROLS SECURITY SO	3/3/2021	35474142	2,391.15	MUSEUM, FIRE ALARM INSPECT.
555-0525-494.22-99	2100FM	111047	KONE INC.	3/3/2021	959779959	242.79	MUSEUM, ELEVATOR MAINT. SERVICE
555-0526-494.22-99	2101FM	111094	THE MILLARD GROUP	3/3/2021	208924	1,394.60	MUSEUM, CLEANING SERVICE
555-0526-494.22-99	2101FM	111094	THE MILLARD GROUP	3/3/2021	209145	120.60	MUSEUM, CLEANING SERVICE
Total for Fund			555	FMLY MUSEUM/ARTS & SCIENCE		6,619.25	
Department			Public Works				
560-0525-494.21-01	2100GC	111030	GRAINGER	3/3/2021	9797692135	97.69	CLUBHOUSE, DRAIN VALVE
560-0526-494.22-99	2101GC	111013	CINTAS LOC 23M	3/3/2021	4074824874	88.35	GOLF COURSE, TOWELS, MATS
Total for Fund			560	PALMER HILLS GOLF COURSE		186.04	
Department			Public Works				
570-0525-494.21-01	2100LF	111002	ADEL WHOLESALERS, INC.	3/3/2021	2039150	149.98	FITNESS CTR, PLUMBING
Total for Fund			570	LIFE FITNESS CTR FUND		149.98	
Department			Public Works				
580-0522-493.22-99		111003	ADVANCED WILDLIFE CONTROL COM	3/3/2021	013121	175.00	LEVEE ANIMAL CONTROL
Total for Fund			580	STORM WATER UTILITY		175.00	
Department			Public Works				
585-0507-492.22-37		111078	RIVER BEND TRANSIT	3/3/2021	013121	16,130.94	PARATRANSIT SERVICE JANUARY 2021
585-0507-492.22-38		111078	RIVER BEND TRANSIT	3/3/2021	013121B	6,985.50	SATURDAY SERVICE JANUARY 2021
585-0527-492.21-05	COVID	111021	ECK'S AUTO SHINE	3/3/2021	223	200.00	BUS WASHING 1/30 & 2/6
585-0527-492.21-05	COVID	111021	ECK'S AUTO SHINE	3/3/2021	224	80.00	BUS WASHING 2/13
Total for Fund			585	TRANSIT		23,396.44	
Department			Public Works				

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683-0520-494.21-04		111029	GM FLEETTRAC	3/3/2021	02172021	1,225.62	MISC. MILLS INVOICES FOR SERVICE REPAIRS
683-0520-494.21-04		111031	GREEN BUICK GMC INC.	3/3/2021	710098	241.99	#20513 - RIGHT SIDE DASH GAUGES NOT WORKING
683-0520-494.21-04		111033	H & H CAR CARE & TOWING, LLC	3/3/2021	50539	225.00	TOW #21608 TO MAINT SHOP
683-0520-494.21-04		111033	H & H CAR CARE & TOWING, LLC	3/3/2021	50540	250.00	TOW #20432 TO MAINT SHOP
683-0520-494.21-04		111033	H & H CAR CARE & TOWING, LLC	3/3/2021	50707	130.00	TOW #20001 TO MAINT SHOP
683-0520-494.21-04		111033	H & H CAR CARE & TOWING, LLC	3/3/2021	50915	150.00	TOW #21613 TO MAINT SHOP
683-0520-494.21-04		111052	MACQUEEN EQUIPMENT	3/3/2021	W02512	491.06	R/R CAMERA CABLES #21626
683-0520-494.22-31		111013	CINTAS LOC 23M	3/3/2021	4075789078	70.11	LAUNDRY SERVICE
683-0520-494.23-07		111010	CARQUEST AUTO PARTS STORE	3/3/2021	6604-374258	47.30	STOCK - ELECTRICAL TAPE
683-0520-494.23-07		111010	CARQUEST AUTO PARTS STORE	3/3/2021	6604-374308	74.90	STOCK - HOSE CLAMPS
683-0520-494.23-07		111073	QUAD CITY SAFETY, INC.	3/3/2021	1000253	117.00	NITRILE GLOVES
683-0520-494.23-07		111084	S J SMITH CO. INC.	3/3/2021	583179	200.85	WELDING TANKS LEASE
683-0520-494.23-07		111084	S J SMITH CO. INC.	3/3/2021	6203765	834.00	WELDING SUPPLIES
683-0520-494.23-24		111004	ASPEN EQUIPMENT COMPANY	3/3/2021	70004715A	-210.10	PART RETURNED
683-0520-494.23-24		111004	ASPEN EQUIPMENT COMPANY	3/3/2021	70004837	441.29	RAM ASSY #1421P
683-0520-494.23-24		111004	ASPEN EQUIPMENT COMPANY	3/3/2021	70004840	215.09	RAM ASSY #1217P
683-0520-494.23-24		111004	ASPEN EQUIPMENT COMPANY	3/3/2021	70004842	144.00	PLOW OIL - STOCK
683-0520-494.23-24		111004	ASPEN EQUIPMENT COMPANY	3/3/2021	70004849	117.42	PIVOT PINS - STOCK
683-0520-494.23-24		111004	ASPEN EQUIPMENT COMPANY	3/3/2021	70004937	2,247.30	#1419P - MISC. PARTS
683-0520-494.23-24		111006	BAUER BUILT, INC.	3/3/2021	230101016	1,040.10	TRANSIT TIRES - STOCK
683-0520-494.23-24		111006	BAUER BUILT, INC.	3/3/2021	230101021	600.90	TIRES
683-0520-494.23-24		111010	CARQUEST AUTO PARTS STORE	3/3/2021	6604-374078	87.03	PARTS FOR STOCK
683-0520-494.23-24		111010	CARQUEST AUTO PARTS STORE	3/3/2021	6604-374120	8.99	CABIN FILTER #21517
683-0520-494.23-24		111010	CARQUEST AUTO PARTS STORE	3/3/2021	6604-374172	175.19	BRG /HUB ASY #21711
683-0520-494.23-24		111010	CARQUEST AUTO PARTS STORE	3/3/2021	6604-374236	330.04	STOCK - BRAKE PADS AND ROTORS
683-0520-494.23-24		111010	CARQUEST AUTO PARTS STORE	3/3/2021	6604-374298	486.16	STOCK - BRAKE PADS AND ROTORS
683-0520-494.23-24		111010	CARQUEST AUTO PARTS STORE	3/3/2021	6604-374364	206.02	STOCK - FILTERS, BULBS
683-0520-494.23-24		111010	CARQUEST AUTO PARTS STORE	3/3/2021	6604-374536	138.57	#21302 - BATTERY
683-0520-494.23-24		111010	CARQUEST AUTO PARTS STORE	3/3/2021	6604-374666	-22.00	RETURN BATTERY CORE
683-0520-494.23-24		111025	FASTENAL COMPANY	3/3/2021	IABET138557	45.58	STOCK PARTS
683-0520-494.23-24		111026	FUTURE LINE LLC	3/3/2021	S1-44302	168.34	YOKES - STOCK
683-0520-494.23-24		111031	GREEN BUICK GMC INC.	3/3/2021	151194	192.33	#21631 PARTS
683-0520-494.23-24		111039	INTERSTATE BATTERY OF THE	3/3/2021	34064928	691.75	STOCK - BATTERIES
683-0520-494.23-24		111049	LAWSON PRODUCTS, INC.	3/3/2021	9308205563	452.20	HYD FITTINGS
683-0520-494.23-24		111051	LINDQUIST FORD, INC.	3/3/2021	380186	515.06	#21407 - MIRROR ASSMBLY.
683-0520-494.23-24		111051	LINDQUIST FORD, INC.	3/3/2021	380197	64.67	#20001 - CABLE ASSMBLY.

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683-0520-494.23-24		111052	MACQUEEN EQUIPMENT	3/3/2021	P12190	42.19	LED LAMP #21305
683-0520-494.23-24		111056	MIDWEST WHEEL & RIM CO	3/3/2021	2272483-01	317.48	STOCK - PLOW MARKERS
683-0520-494.23-24		111057	MIDWEST WHEEL COMPANIES INC.	3/3/2021	2279488-00	302.40	FUEL ADDITIVE - STOCK
683-0520-494.23-24		111062	MUTUAL WHEEL COMPANY	3/3/2021	0589102	274.61	PLOW MARKERS - STOCK
683-0520-494.23-24		111069	PILLAR EQUIPMENT INC.	3/3/2021	01-40165	545.47	#21419 - SNOW VIBRATOR
683-0520-494.23-24		111074	QUAD CITY SPRING	3/3/2021	A210208020	675.96	HEADLAMP #20929 ON-SPOT PARTS - STOCK
683-0520-494.23-24		111077	REXCO EQUIPMENT CO.	3/3/2021	P31013	153.13	GUIDES,ROLLERS - STOCK
683-0520-494.23-24		111077	REXCO EQUIPMENT CO.	3/3/2021	P31082	27.76	GREASE FITTING #21718
683-0520-494.23-24		111085	SADLER POWER TRAIN	3/3/2021	0210139212	1,159.88	AIR DRYERS - STOCK
683-0520-494.23-24		111085	SADLER POWER TRAIN	3/3/2021	0210139223	23.12	GREASE PLUGS - STOCK
683-0520-494.23-24		111095	THOMPSON TRUCK & TRAILER INC.	3/3/2021	X103109689:01	83.67	AIR HORN #20919
683-0520-494.23-24		111095	THOMPSON TRUCK & TRAILER INC.	3/3/2021	X103109704:01	29.20	OIL CAP - STOCK
683-0520-494.23-24		111095	THOMPSON TRUCK & TRAILER INC.	3/3/2021	X103109833:01	259.20	HARNES CLEARANCE
683-0520-494.23-24		111095	THOMPSON TRUCK & TRAILER INC.	3/3/2021	X103109918:01	36.72	WINDSHIELD WASHER CAP STOCK
683-0520-494.23-24		111108	ZURCHER TIRE, INC	3/3/2021	5402118139	505.20	4 TIRES #21517
683-0520-494.23-24		111108	ZURCHER TIRE, INC	3/3/2021	5402119087	158.00	TIRES
683-0520-494.23-51		111084	S J SMITH CO. INC.	3/3/2021	6202765	98.25	PROPANE
683-0520-494.23-52		111086	SAFETY KLEEN SYSTEMS	3/3/2021	85237314	650.65	HYD OIL & DEF
683-0520-494.23-52		111086	SAFETY KLEEN SYSTEMS	3/3/2021	85237405	42.85	TUBES OF GREASE
683-0520-494.23-52		111086	SAFETY KLEEN SYSTEMS	3/3/2021	85320853	325.38	BULK ENGINE OIL
683-0520-494.23-52		111086	SAFETY KLEEN SYSTEMS	3/3/2021	C014998994	-67.34	CREDIT
Total for Fund			683	MUNICIPAL GARAGE	17,837.54		
Department			Public Works				
Total for Department			117,845.67				
555-1101-494.21-30		111024	EXPLORER SYSTEMS INC	3/3/2021	205590	300.00	EMV READER SET UP
555-1101-494.23-07		111012	CINTAS CORPORATION #342	3/3/2021	5051764807	146.56	FIRST AID SUPPLIES
555-1102-494.23-07		111097	TOTAL AQUARIUM MAINTENANCE	3/3/2021	136875	40.00	FISH TANK SERVICE
555-1105-494.22-02		111019	DISPATCH/ROCK ISLAND ARGUS	3/3/2021	47403-1	1,050.00	ADVERTISING
Total for Fund			555	FMLY MUSEUM/ARTS & SCIENCE	536.56		
Department			Family Museum				

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Total for Department						1,536.56	
001-3001-454.23-06		111091	TALLGRASS BUSINESS RESOURCES	3/3/2021	5531744	5.01	FILE FOLDER LABELS
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	3001	165.00	SNOW/ICE REMOVAL/SALT 530 - 6TH ST 21-0183
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	3002	180.00	SNOW/ICE REMOVAL/SALT 832 - 6TH ST 21-0179
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	3003	180.00	SNOW/ICE REMOVAL/SALT 902 - 6TH ST 21-0176
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	3004	180.00	SNOW/ICE REMOVAL/SALT 908 - 6TH ST 21-0175
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	3005	210.00	SNOW/ICE REMOVAL/SALT 2324 STATE ST 21-0133
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	3006	210.00	SNOW/ICE REMOVAL/SALT 3810 DECKARD DR 21-0019
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	3007	210.00	SNOW/ICE REMOVAL/SALT 1719 LINCOLN RD 21-0126
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	3008	210.00	1231 - 14TH ST SNOW/ICE REMOVAL/SALT
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	3009	210.00	SNOW/ICE REMOVAL/SALT 1715 LINCOLN RD 21-0127
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	3010	180.00	SNOW/ICE REMOVAL/SALT 3403 OVERLAND DR 21-003
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	3011	210.00	SNOW/ICE REMOVAL/SALT 2324 STATE ST 21-0133
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	3012	210.00	SNOW/ICE REMOVAL/SALT 1803 NORTH ST 21-0066
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	3013	450.00	SNOW/ICE REMOVAL/SALT 3865 TANG CT 21-0148
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	3014	435.00	SNOW/ICE REMOVAL/SALT 3835 TANG CT 21-0147
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	3015	180.00	SNOW/ICE REMOVAL/SALT 6611 CROW CRK RD 21-016
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	3016	465.00	SNOW/ICE REMOVAL/SALT 6262 CROW CRK RD 21-016
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	3017	480.00	SNOW/ICE REMOVAL/SALT 6500 CROW CRK RD 21-016
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	3018	180.00	SNOW/ICE REMOVAL/SALT 3369 S HAMPTON DR 21-01
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	3019	180.00	SNOW/ICE REMOVAL/SALT 3368 - 29TH ST 21-0191
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	3020	180.00	SNOW/ICE REMOVAL/SALT 3103 MAPLECREST 21-012
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	3021	180.00	SNOW/ICE REMOVAL/SALT 1848 ANDERSON CT 21-019
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	3022	330.00	SNOW/ICE REMOVAL/SALT 548 RIVER DR 21-0173
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	3023	180.00	SNOW/ICE REMOVAL/SALT 1867 KINGS DR 21-0159
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	3024	900.00	880 LINCOLN RD 21-0157 SNOW/ICE REMOVAL/SALT
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	3025	870.00	875 MIDDLE RD 21-0184 SNOW/ICE REMOVAL/SALT
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	3026	620.00	800 - 23RD ST 21-0186 SNOW/ICE REMOVAL/SALT
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	3027	180.00	539 BROWN ST 21-0180 SNOW/ICE REMOVAL/SALT
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	3028	180.00	638 - 6TH ST 21-0182 SNOW/ICE REMOVAL/SALT
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	3029	390.00	3230 HOLIDAY CT 21-0155 SNOW/ICE REMOVAL/SALT
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	423	120.00	SNOW/ICE REMOVAL - FLOOD 2513 CYPRESS DR
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	424	120.00	SNOW/ICE REMOVAL - FLOOD 2601 CYPRESS DR
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	425	120.00	SNOW/ICE REMOVAL - FLOOD 1119 CRESTVIEW CT
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	426	120.00	SNOW/ICE REMOVAL - FLOOD 1124 CRESTVIEW CIRCLE

City of Bettendorf
Accounts Payable Listing
March 2, 2021 Council Meeting

Date: 2/25/2021

Account Number	Project #	Check #	Vendor Name	Chk Date	Invoice #	Trans Amt	Description	
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	427	120.00	SNOW/ICE REMOVAL - FLOOD 1310 PARKWAY DR	
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	428	120.00	SNOW/ICE REMOVAL - FLOOD 1108 PARKWAY DR	
001-3003-454.22-99		111045	KELLYS TOTAL LAWN CARE	3/3/2021	429	120.00	SNOW/ICE REMOVAL - FLOOD 2608 GREENWAY DR	
001-3006-416.22-90		111015	COTT SYSTEMS, INC.	3/3/2021	138927	3,000.00	SCAN BUILDING PLANS	
001-3006-416.23-06		111091	TALLGRASS BUSINESS RESOURCES	3/3/2021	5531870	23.44	RED SHARPIES - LABEL BUILDING PLANS	
Total for Fund							001 GENERAL FUND	12,603.45
Department							Community Development	
Total for Department							12,603.45	
001-4101-460.23-06		111037	IMPERIAL	3/3/2021	288002:03613103	79.90	COFFEE SUPPLIES FOR CITY HALL & PD	
001-4102-461.22-05		111087	SCOTT COUNTY RECORDER	3/3/2021	20615-20884	49.00	RECORD TWIN BRIDGE AMD DA & 1210 STATE ST. DEED	
001-4102-461.22-14		111075	QUAD CITY TIMES	3/3/2021	87811	105.06	PUB PH NOT RE AMEND BETT IND PARK URB RNEWAL F	
001-4102-461.22-14		111075	QUAD CITY TIMES	3/3/2021	87814	22.33	PUB PH NOT RE REZONE PROP A1 TO R3 TANGFT/TANG	
001-4102-461.22-14		111075	QUAD CITY TIMES	3/3/2021	87816	22.89	PUB PH NOT RE REZONE PROP A1 TO R2 TANGFT/TANG	
001-4102-461.22-14		111075	QUAD CITY TIMES	3/3/2021	87934	362.76	PUBLISH CITY COUNCIL MTG MINUTES 2/2/21 MEETING	
Total for Fund							001 GENERAL FUND	641.94
Department							Administration	
Total for Department							641.94	
001-4201-466.22-13		111011	CHAMPS TROPHY	3/3/2021	2657	6.50	RETIREMENT PLATES	
001-4201-466.22-13		111020	DUNN, DEBORA	3/3/2021	021921	149.00	EMPLOYEE SCREENING	
001-4201-466.22-13		111027	GENESIS OCCUPATIONAL HEALTH	3/3/2021	155732	235.00	EMPLOYEE SCREENING	
001-4201-466.22-13		111027	GENESIS OCCUPATIONAL HEALTH	3/3/2021	156013	1,475.00	EMPLOYEE SCREENING	
001-4201-466.22-13		111027	GENESIS OCCUPATIONAL HEALTH	3/3/2021	156016	1,290.00	EMPLOYEE SCREENING	
001-4201-466.22-13		111027	GENESIS OCCUPATIONAL HEALTH	3/3/2021	156019	1,211.00	EMPLOYEE SCREENING	
001-4201-466.22-13		111027	GENESIS OCCUPATIONAL HEALTH	3/3/2021	156020	1,191.00	EMPLOYEE SCREENING	
001-4201-466.22-13		111028	GENESIS PSYCHOLOGY ASSOCIATES	3/3/2021	021121	400.00	NEW EMPLOYEE EVALUATION	
001-4201-466.22-90		111101	TRUENORTH	3/3/2021	100680	6,000.00	QUARTERLY CONSULTING FEE 1ST QUARTER 2021	
001-4201-466.23-07	COVID	111063	NATIONAL PEN COMPANY	3/3/2021	111857080	145.00	COVID MASKS	
Total for Fund							001 GENERAL FUND	12,102.50
Department								

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Accounts Payable Listing
March 2, 2021 Council Meeting

Account Number	Project #	Check #	Vendor Name	Chk Date	Invoice #	Trans Amt	Description
Total for Department						12,102.50	
400-5050-480.22-05	PW0039	111087	SCOTT COUNTY RECORDER	3/3/2021	18816-20418	84.00	RECORDING FEES - RAW
400-5050-480.22-90	PW0381	110977	HDR ENGINEERING, INC.	2/17/2021	1200320172	20,121.24	#1 FG DRIVE PH3 FROM 11/12 - 12/26/2020
400-5050-480.22-99	CD0080	111040	IOWA AMERICAN WATER COMPANY	3/3/2021	220036302516	41.66	WATER - FLOOD HOUSE 2608 GREENWAY DR
400-5050-480.22-99	CD0080	111040	IOWA AMERICAN WATER COMPANY	3/3/2021	653754088947	39.22	2518 HOLLY DR WATER - FLOOD HOUSE
400-5050-480.22-99	CD0080	111054	MID AMERICAN ENERGY	3/3/2021	508677767	10.87	UTILITIES - FLOOD HOUSE 1310 PARKWAY DR (FINAL)
400-5050-480.22-99	PW0405	111018	DAVENPORT ELECTRIC CONTRACT	3/3/2021	44399	3,805.00	FIBER OPTIC CABLE AT 12TH & GRANT
400-5050-480.22-99	PW0502	111048	LANGMAN CONSTRUCTION COMPAN	3/3/2021	5	17,317.90	PEE#5 RETAINAGE QUEENS DR RECONSTR
400-5050-480.22-99	PW0510	111098	TRI CITY BLACKTOP, INC.	3/3/2021	6	9,607.69	PE#6 RETAINAGE GREENBRIER DR RECONSTR.
400-5050-480.23-07	2CD005	111092	TERRY-DURIN COMPANY	3/3/2021	72859-00	2,983.00	LOCATE MARKERS
400-5050-480.23-07	CD0051	111059	MOBOTREX, INC.	3/3/2021	248642	760.00	CAMERA BRACKETS
400-5050-480.23-07	CD0067	111092	TERRY-DURIN COMPANY	3/3/2021	72859-00A	1,217.00	LOCATE MARKERS
Total for Fund				400	CAPITAL PROJECTS		55,987.58
Department			Capital Projects				
520-5050-499.22-90	SW0091	111053	MCCLURE ENGINEERING CO	3/3/2021	132330	11,167.00	#22 SANITARY SEWER EVAL STUDY FROM 1/1-1/31/2021
Total for Fund				520	SEWER UTILITY		11,167.00
Department			Capital Projects				
580-5050-499.22-99	SM0133	111103	WALTER D. LAUD INC.	3/3/2021	101320	13,758.59	EMERGENCY STORM REPAIR HIGHLAND CT
Total for Fund				580	STORM WATER UTILITY		13,758.59
Department			Capital Projects				
Total for Department						80,913.17	
Grand Total						599,795.18	

City of Bettendorf
Accounts Payable Listing
March 2, 2021 Council Meeting

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Account Number	Project #	Check #	Vendor Name	Chk Date	Invoice #	Trans Amt	Description
001-0000-221.10-00		2100434	TREASURER, STATE OF IOWA	2/17/2021	1047001611A	82.44	JAN SALES TAX - REC
Total for Fund			001	GENERAL FUND		82.44	
Department			N/A				
520-0000-221.10-00		2100436	TREASURER, STATE OF IOWA	2/17/2021	1048001450	4,689.79	JAN SALES TAX - SWR
Total for Fund			520	SEWER UTILITY		4,689.79	
Department			N/A				
550-0000-221.10-00		2100436	TREASURER, STATE OF IOWA	2/17/2021	1048001450B	41.09	JAN SALES TAX - RECY
Total for Fund			550	SOLID WASTE/RECYCLING ENT		41.09	
Department			N/A				
570-0000-221.10-00		2100434	TREASURER, STATE OF IOWA	2/17/2021	1047001611	1,809.62	JAN SALES TAX - LFC
Total for Fund			570	LIFE FITNESS CTR FUND		1,809.62	
Department			N/A				
580-0000-221.10-00		2100436	TREASURER, STATE OF IOWA	2/17/2021	1048001450A	8,589.53	JAN SALES TAX - STRM
Total for Fund			580	STORM WATER UTILITY		8,589.53	
Department			N/A				
Total for Department						15,212.47	
686-0106-494.22-96		2100435	EMPLOYEE BENEFIT SYSTEM	2/17/2021	02102021	265.00	VISION CLAIMS CKS 2022 -2024
Total for Fund			686	EMPLOYEE INSURANCE		265.00	
Department			Mayor & Council				
Total for Department						265.00	
Grand Total						15,477.47	

City of Bettendorf
Accounts Payable Listing
March 2, 2021 Council Meeting

ACCT #	ect PRG	CK #	VENDOR	CK DATE	INV #	AMOUNT	DESCRIPTION
590-2001-494.11-21		3223	ISLE OF CAPRI BETTENDORF, L.C.	3/3/2021	021821A	3,921.68	QCWCC - SALES/MARKETING SALARY BENE
590-2001-494.11-21		3223	ISLE OF CAPRI BETTENDORF, L.C.	3/3/2021	021821C	4,965.64	QCWCC - FINANCE SALARY & BENEFITS
590-2001-494.11-21		3223	ISLE OF CAPRI BETTENDORF, L.C.	3/3/2021	021821D	5,724.07	QCWCC - FACILITIES/MAINT SALARY AND BE
590-2001-494.11-21		3223	ISLE OF CAPRI BETTENDORF, L.C.	3/3/2021	021821K	14,013.34	QCWCC - F&B SALARY AND BENEFITS
590-2001-494.21-01		3223	ISLE OF CAPRI BETTENDORF, L.C.	3/3/2021	021821F	816.57	QCWCC - FACILITIES/MAINT REPAIRS & MAIN
590-2001-494.21-08		3224	MID AMERICAN ENERGY	3/3/2021	508933511	10.00	QCWCC - EAST LOT LIGHTS
590-2001-494.21-09		3223	ISLE OF CAPRI BETTENDORF, L.C.	3/3/2021	021821G	239.18	QCWCC - FACILITIES/MAINT MEDIACOM JANU
590-2001-494.22-08		3223	ISLE OF CAPRI BETTENDORF, L.C.	3/3/2021	021821	2,465.09	QCWCC - INSURANCE PREMIUM JANUARY
590-2001-494.22-90		3225	REPUBLIC SERVICES #400	3/3/2021	0400-002052864	437.21	QCWCC - DUMPSTER SERVICE DECEMBER 2
590-2001-494.22-90		3225	REPUBLIC SERVICES #400	3/3/2021	0400-002058076	437.21	QCWCC - DUMPSTER SERVICE JANUARY 202
590-2001-494.22-99		3222	CINTAS LOC 23M	3/3/2021	4075643902	728.26	QCWCC - LINENS
590-2001-494.22-99		3223	ISLE OF CAPRI BETTENDORF, L.C.	3/3/2021	021821B	452.35	QCWCC - CONTRACT SERVICES
590-2001-494.22-99		3223	ISLE OF CAPRI BETTENDORF, L.C.	3/3/2021	021821H	60.15	QCWCC - FACILITIES/MAINT CONTRACT SER
590-2001-494.22-99		3226	ROCHESTER ARMORED CAR CO.,	3/3/2021	708261	43.32	QCWCC - COURIER SERVICE JANUARY
590-2001-494.22-99		3227	THE GREEN THUMBERS	3/3/2021	1-588876	310.00	QCWCC - PLANT SERVICE
590-2001-494.23-06		3223	ISLE OF CAPRI BETTENDORF, L.C.	3/3/2021	021821E	188.75	QCWCC - FACILITIES/MAINT SUPPLIES
590-2001-494.23-06		3223	ISLE OF CAPRI BETTENDORF, L.C.	3/3/2021	021821L	238.69	QCWCC - F&B SUPPLIES GENERAL/OFFICE
590-2001-494.23-28		3223	ISLE OF CAPRI BETTENDORF, L.C.	3/3/2021	021821I	2,742.94	QCWCC - FOOD INVOICES
590-2001-494.23-29		3223	ISLE OF CAPRI BETTENDORF, L.C.	3/3/2021	021821J	1,090.83	QCWCC - BEVERAGE INVOICES
Total for Fund				590		38,885.28	
QC WATERFRONT CONVENTION							
Department							
Total for Department						38,885.28	
590-5050-499.22-99	AD0004	3221	BRUNER, COOPER & ZUCK INC.	3/3/2021	30432	1,155.00	33% COMPLETE PRELIMINARY DESIGNING P
Total for Fund				590		1,155.00	
QC WATERFRONT CONVENTION							
Department							
Capital Projects							
Total for Department						1,155.00	
Grand Total						40,040.28	